



Agenda Item #1

Application 2025-25-CA

DETAILS

Location:

955 Church Street

Summary of Request:

Construct addition to existing accessory structure

Applicant (as applicable):

Douglas Kearley

Property Owner:

Amy Smith Inge

Historic District:

Oakleigh Garden

Classification:

Contributing

Summary of Analysis:

- The existing accessory structure is non-historic.
- The proposed addition would create a footprint over 4 ½ times greater than the existing accessory structure.
- The submitted design breaks up the larger massing of the structure.
- The proposed placement, materials, height, and details of the addition are all compatible with the historic structure and are approvable under the Guidelines.

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PROPERTY AND APPLICATION HISTORY

Oakleigh Garden Historic District was initially listed in the National Register in 1972 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, landscape architecture, and planning and development. The district is significant for its high concentration of 19th- and 20th-century architectural types and styles and significant in the area of landscape architecture for its canopies of live oaks planted from 1850 to 1910. The district is significant in the area of planning and development as the location of Washington Square, one of only two antebellum public parks remaining in Mobile. The district was expanded in 1984, and an updated nomination was approved in 2016.

The property at 955 Church Street is a one-story frame central hall dwelling with full-length six-over-nine windows across the façade, which is articulated with a full-width front porch and Victorian trim and ornamentation. Survey records date the house to around 1887. A narrow rear wing extends off the west end of the south (rear) elevation. Sanborn Insurance maps reveal that the house has not deviated significantly from its original form.

The property has appeared before the Architectural Review Board (ARB) once. In 2004, the Board issued a COA for the construction of an orangerie outbuilding located behind the historic dwelling.

SCOPE OF WORK

Construct an office/bedroom addition to the existing non-historic accessory structure.

1. The addition would be rectangular in shape and would project from the south end of the accessory structure. It would measure approximately 38'-0" wide by 29'-0" deep. The height of the building from finished floor to top of plate would measure 10'-4 ½".
2. The addition would be topped by either asphalt shingles or copper metal to match the existing outbuilding.
3. The structure would sit on a concrete slab foundation.
4. Exterior walls would be clad in smooth Hardie board and batten.
5. All fenestration would be aluminum-clad wood and would consist of the following:
 - A pair of French doors measuring 3'-0" W by 7'-0 ¼", flanked by two (2) full length 6-light sidelights
 - One (1) flush fiberglass door measuring 3'-0" W x 7'-0" H.
 - Three (3) four-over-four windows measuring 2'-6" W by 5'-0" H
 - Two (2) four-light windows measuring 2'-6" W by 2'-0" H
 - Two (2) two-over-two windows measuring 2'-0" W by 3'-0" H.
6. An open porch with concrete patio would span the north elevation, abutting the projecting storage room on its west end. The porch would be supported by two (2) paired 8" x 8" columns, each with cap and base. The column pairs would flank the main entry doors on the east end of the elevation.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. 9.1 Design an accessory structure to be subordinate in scale to that of the primary structure.
 - If a proposed accessory structure is larger than the size of typical historic accessory structures in the district, break up the mass of the larger structure into smaller modules that reflect traditional accessory structures.
2. 9.2 Locate a new accessory structure in line with other visible accessory structures in the district.
 - These are traditionally located at the rear of a lot.

ACCEPTABLE ACCESSORY STRUCTURE MATERIALS Materials that are compatible with the historic district in scale and character are acceptable.

These often include:

- » Wood frame
- » Masonry

- » Cement-based fiber siding
- » Installations (Pre-made store-bought sheds, provided they are minimally visible from public areas)

UNACCEPTABLE ACCESSORY STRUCTURE MATERIALS Materials that are not compatible with the historic district in scale and character are unacceptable.

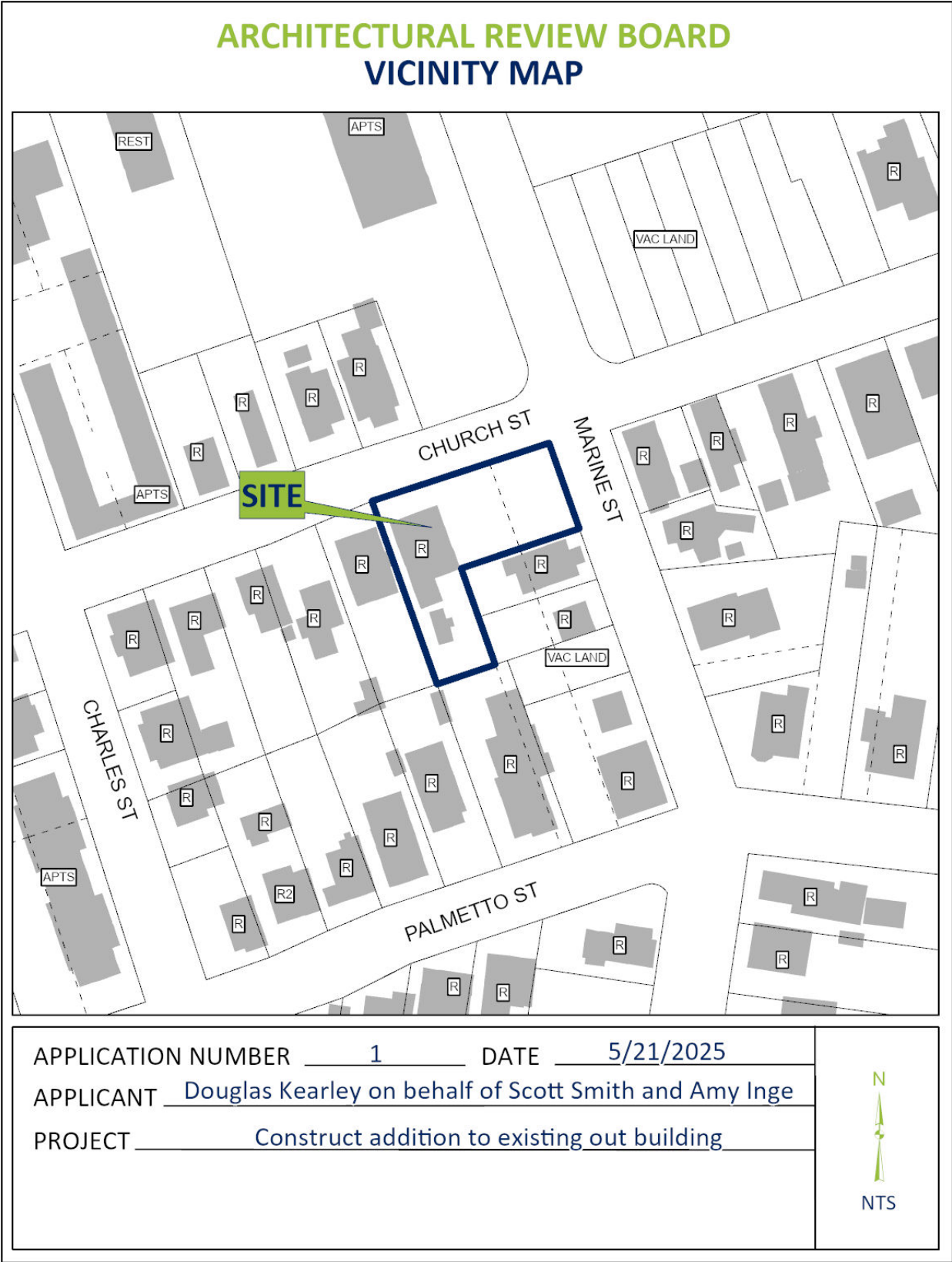
These often include:

- » Metal (except for a greenhouse)
- » Plastic (except for a greenhouse)
- » Fiberglass (except for a greenhouse)

STAFF ANALYSIS

The subject property is a contributing structure in the Oakleigh Garden Historic District. The application under review seeks approval to construct an addition to an existing non-historic outbuilding.

The existing outbuilding located to the rear of the main dwelling was constructed in 2004 as an orangerie structure. It measures 10'-0" wide by 24'-0" deep, for a total of 240sf. The proposed addition would add another approximate 1102sf. The resulting 1242sf outbuilding would comprise roughly 65% of the historic home's 1900sf footprint. It would remain subordinate to the main structure but would be larger than typical historic outbuildings in the surrounding area. In this case, the Guidelines' direct that the mass be broken up into smaller modules that reflect traditional accessory structures. This is accomplished the with the perpendicular placement of the new addition to the existing outbuilding. (9.1) The proposed setbacks, height, materials, and details are compliant with the Guidelines, and do not impair the architectural character of the contributing dwelling, nor that of the surrounding district. (9.2)



Site Photos – 955 Church Street



1. Facade and east elevation, looking SW



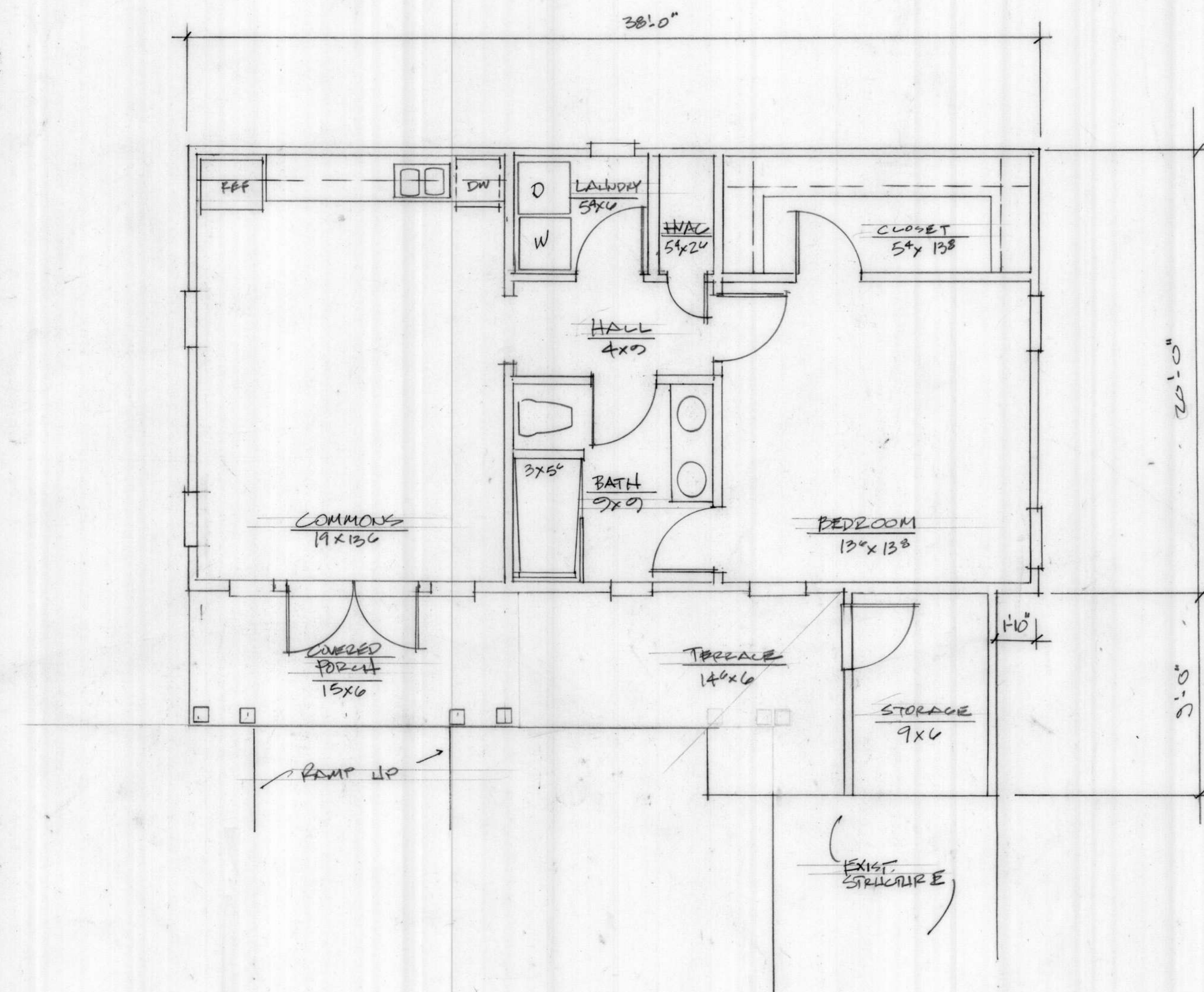
2. Façade and west elevation, looking SE

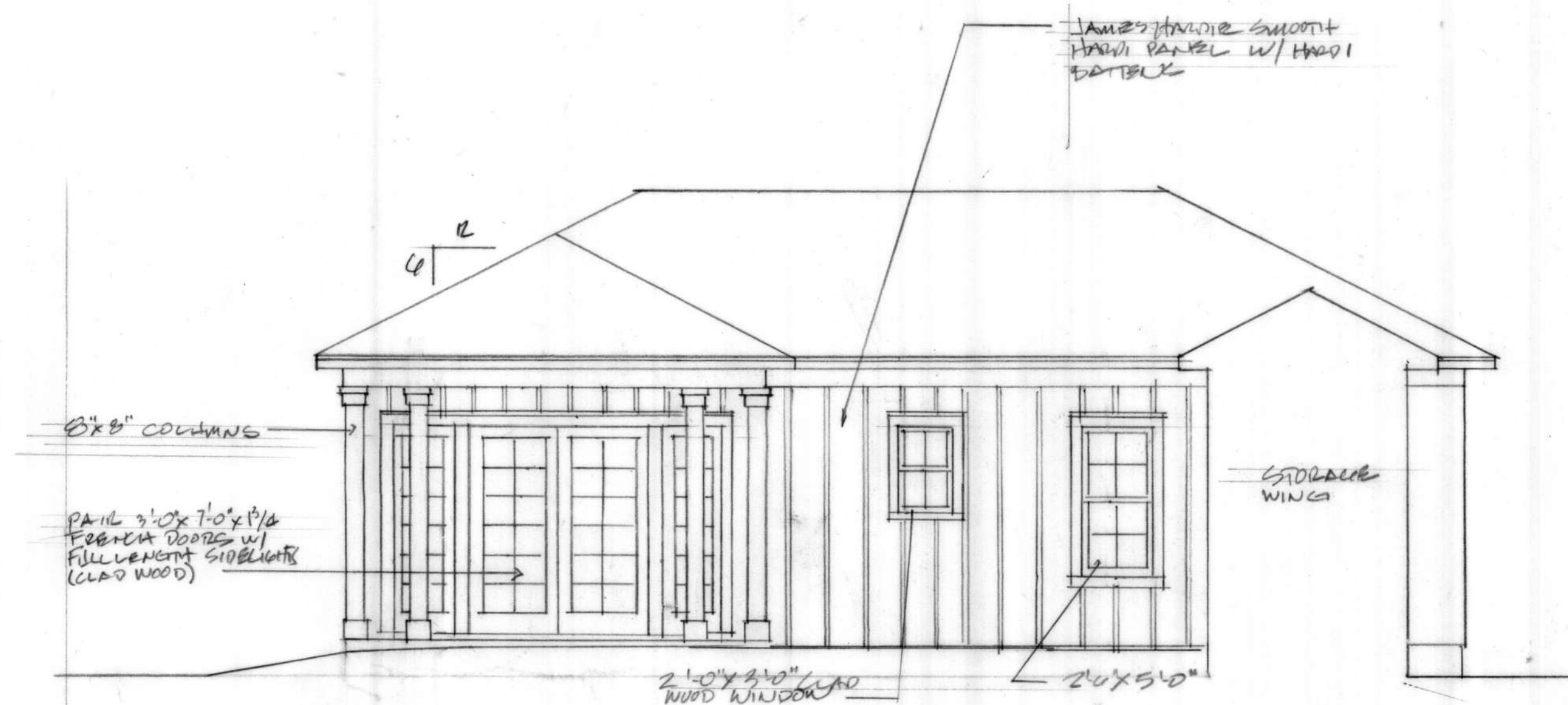


3. View of proposed location of addition from SE corner of lot, looking NW

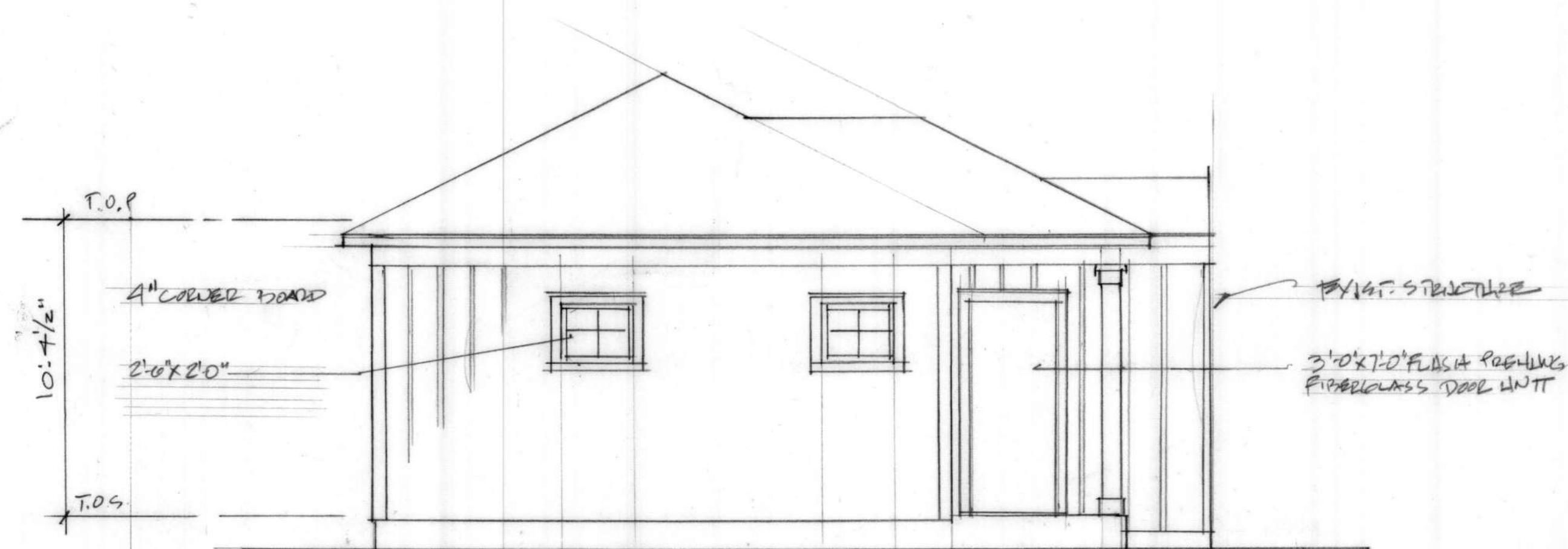


4. South gable end of existing outbuilding, looking N

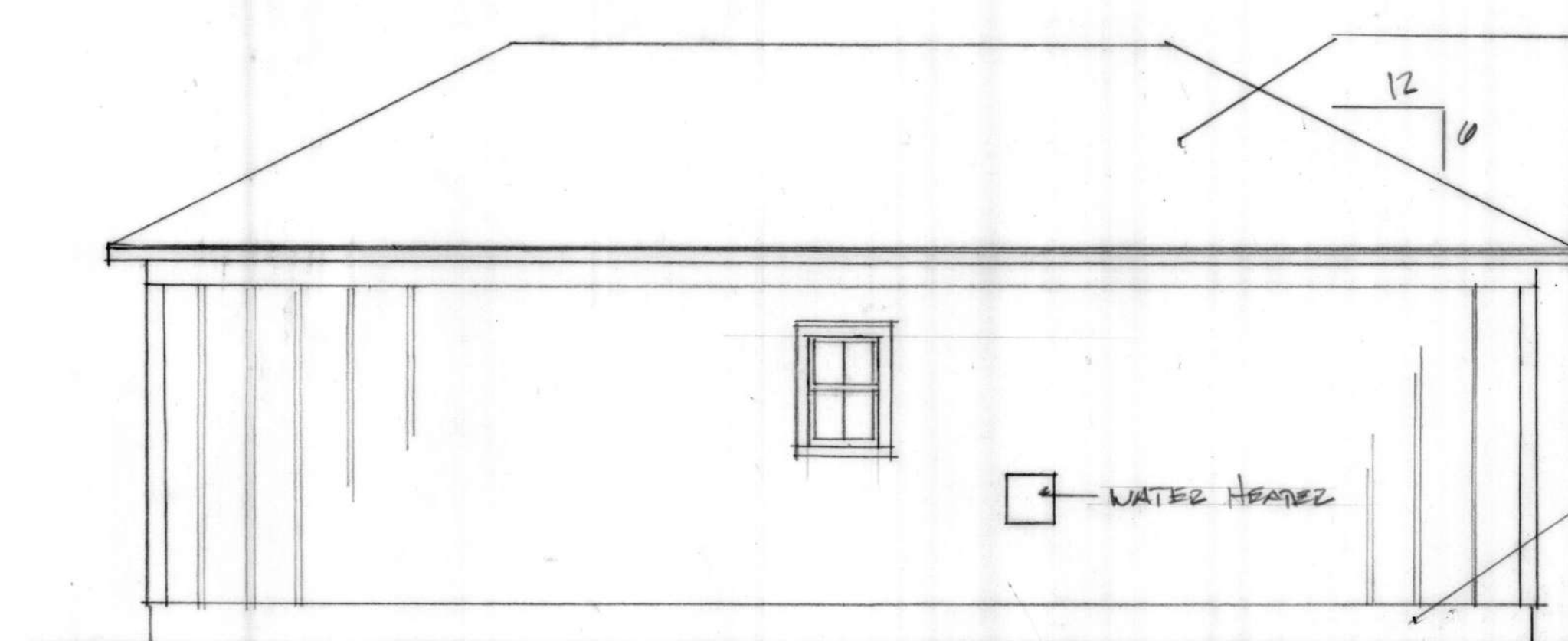




NORTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"