



Agenda Item #1

Application 2026-34-CA

DETAILS

Location:

401 Civic Center Drive

Summary of Request:

Install a prefabricated loading dock guard shack for the Mobile Arena

Applicant (as applicable):

Sam Matheny/Volkert, Inc.

Property Owner:

City of Mobile

Historic District:

Church Street East

Classification:

Non-Contributing

Summary of Analysis:

- The proposed building materials, as presented, are not approved by the *Guidelines* for accessory structures.
- The proposed structure is prefabricated and could be moved or removed in the future if needed.

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PROPERTY AND APPLICATION HISTORY

Church Street East Historic District was initially listed in the National Register in 1971 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, education, and urban planning. The district is significant for its concentration of multiple 19th century architectural styles and because it encompasses the site of Mobile in the early 1700s. The district boundaries were expanded in 1984 and 2005.

The subject property, which recently has been subdivided to accommodate a new U.S. Army Corps of Engineers building and a six-story parking garage, is occupied by the 1964 Civic Center theater and arena and the 1973 exposition hall. The 1876 Hopkins ward map of Mobile showed the area bounded by Church, Lawrence, Canal, and Claiborne streets was densely developed with residences. The 1885 Sanborn map illustrates only the far northwest corner of the current Civic Center property, showing an area populated with one-story frame dwellings, “tenements”, and “shanties.” The entire Civic Center area is illustrated on the 1891 Sanborn map, which continues to show a densely developed residential area. Interspersed with the mostly one-story frame houses of varying size were grocery stores, barber shops, an ice cream shop, retail stores, a fire station, a church, a saloon, and a restaurant. Sanborn Maps published in 1904 and 1924, as well as the 1955 update to the 1924 map, show a similar pattern with a few exceptions. The grocery stores and barbers seem to have disappeared, and the block bounded by Madison, Claiborne, Canal, and Franklin streets had been cleared for use as a “Public Play Ground”. The two and one-half story brick Robert E. Lee Public School occupied the block bounded by Madison, Franklin, Hamilton, and Canal streets. Available aerial photographs of the Civic Center area taken in 1938, 1952, 1955, and 1960 show essentially the same development as reflected in the 1924/1955 Sanborn map.

By the time of the next available aerial photograph, 1967, more than seven blocks had been leveled to make way for the Civic Center. The only structure remaining was the public school bounded by Madison, Franklin, Hamilton, and Canal streets. The school disappeared by the time of the next available aerial photograph, taken in 1980. Demolition of the 1960s Civic Center building was completed in early 2025.

According to the vertical files of the Historic Development Department, the larger parcel, of which the subject complex was part until recently, has previously appeared eight (8) times before the Architectural Review Board (ARB). In November 1983, the ARB approved placement of a commemorative plaque on a brick base at the corner of Claiborne Street and Auditorium Drive (now Civic Center Drive). The installation of a 100’ telecommunications tower and construction of a one-story 10’x16’ accessory structure on a small parcel to the immediate north of the current site of a new office building was approved by the ARB in July 1998. The ARB approved the construction of two steel and glass bus shelters located along the Lawrence Street side of the parcel was approved in October 2009. The ARB approved construction of a six-story office building at the southeast corner of the Civic Center site over three meetings from August 2022 through April 2023. A six-level City parking garage was approved by the ARB in July 2023. In June of 2024, the demolition of the Civic Center Complex (including the theater, arena/auditorium, and exposition hall) was granted approval by the ARB. In October 2024, the ARB approved conceptual design for a new Civic Arena, with the caveat that additional design details – such as the cladding panels and decorative ironwork – would return to the Board for approval at a later date. The property most recently appeared before the Board on October 1, 2025 where exterior panels and decorative ironwork for the Civic Center was approved.

SCOPE OF WORK

Install prefabricated guard shack measuring 10’3¼” W x 6’3¼” D x 8’5” H

- Guard shack will sit on grade and will be located to the southeast of the Arena, along S. Claiborne Street frontage.
- Exterior walls and roof will be 16 gauge galvanized steel
 - Roof will have 8” fascia with a 6” overhang on all sides.
- Unit will have two doors located on the south and north elevations of the structure.

- Doors will be 36"x80" commercial grade steel framed slide doors constructed with 16 gauge galvanized steel panels.
- Unit will have six ¾" bronze tinted dual pane windows.
 - East façade and west (rear) elevation will have one window each measuring 66" W x 40" H.
 - North and south elevations will both have two windows measuring 37" W x 40" H each flanking the centered door.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. **6.45** Locate and design windows to be compatible with those in the district.
 - a. Locate and size a window to create a solid-to-void ratio similar to the ratios seen on nearby historic buildings.
 - b. Locate a window to create a traditional rhythm and a proportion of openings similar to that seen in nearby historic buildings.
 - c. Use a traditional window casement and trim similar to those seen in nearby historic buildings.
 - d. Place a window to match the height of the front doorway.
 - e. Place a window so that there is proportionate space between the window and the floor level.
 - f. Do not place a window to directly abut the fascia of a building.
 - g. Use a window material that is compatible with other building materials.
 - h. Do not use a reflective or tinted glass window.
 - i. Use a 1/1 window instead of window with false muntins. A double paned window may be acceptable if the interior dividers and dimensional muntins are used on multi-light windows. A double paned 1/1 window is acceptable.
 - j. Do not use false, interior muntins except as stated above.
 - k. Recess window openings on masonry buildings.
 - l. Use a window opening with a raised surround on a wood frame building.

ACCEPTABLE WINDOW MATERIALS

- m. Materials that are similar in character, profile, finish and durability to those used on nearby historic buildings are acceptable. These often include:
 - i. Wood
 - ii. Vinyl-clad wood
 - iii. Aluminum-clad customized wood
 - iv. Extruded Aluminum

UNACCEPTABLE WINDOW MATERIALS

- n. Materials that are not similar in character, profile, finish and durability to those used on nearby historic buildings are unacceptable. These often include:
 - i. Mill finish metal windows
 - ii. Snap-in or artificial muntins
 - iii. Vinyl
2. 9.1 Design an accessory structure to be subordinate in scale to that of the primary structure.
 - If a proposed accessory structure is larger than the size of typical historic accessory structures in the district, break up the mass of the larger structure into smaller modules that reflect traditional accessory structures.
 3. 9.2 Locate a new accessory structure in line with other visible accessory structures in the district.
 - These are traditionally located at the rear of a lot.

ACCEPTABLE ACCESSORY STRUCTURE MATERIALS

- Materials that are compatible with the historic district in scale and character are acceptable. These often include:
 - a. Wood frame
 - b. Masonry
 - c. Cement-based fiber siding
 - d. Installations (Pre-made store-bought sheds, provided they are minimally visible from public areas)

UNACCEPTABLE ACCESSORY STRUCTURE MATERIALS

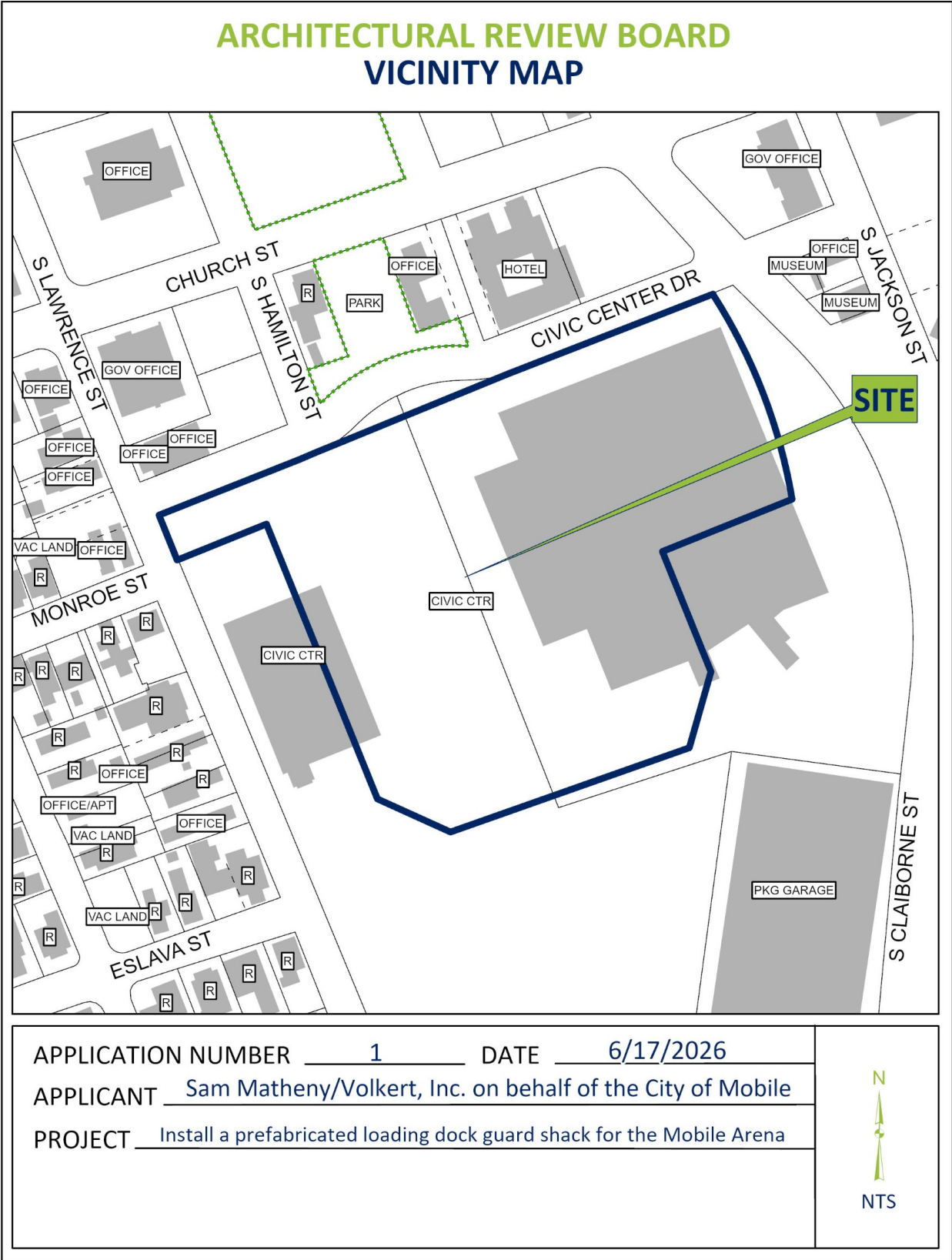
- Materials that are not compatible with the historic district in scale and character are unacceptable. These often include:
 - a. Metal (except for a greenhouse)
 - b. Plastic (except for a greenhouse)
 - c. Fiberglass (except for a greenhouse)

STAFF ANALYSIS

The subject property is a non-contributing site within the Church Street East Historic District. The application under review seeks approval for the placement of a prefabricated guard shack to be placed on grade to the southeast of the arena.

The *Guidelines* call for new accessory structures to be subordinate to the primary structure and for the accessory structure to be in line with other visible accessory structures. (9.1, 9.2). The proposed guard shack would be subordinate to the arena and would be located to the rear of the primary frontage of the arena. Additionally, the *Guidelines* direct that window placements should be representative and sympathetic to surrounding historic structures. The frequency of windows is not reflective of traditional window placements; however, as this would be a security structure, visibility on all elevations would be necessary.

The *Guidelines* provide that accepted materials for accessory structures include wood frame, masonry, cement-based fiber siding and installations (pre-made store bought sheds, provided they are minimally visible from ROW). Further, the *Guidelines* restrict the use of metal, fiberglass, plastic to greenhouses. The proposed accessory structure would be a prefabricated metal structure placed right off of S Claiborne, a highly visible location. Both the proposed material and location are contrary to the stated Guidelines. Consideration should be given to the removable nature of the structure as lifting eyes would be available on the roof of the structure for relocation or removal. Additionally, a metal structure would provide superior security. The exterior walls and windows meet hurricane resistant code. The proposed color matches the bronze color on the rear aluminum gate and accents on the arena building, creating a blending effect to visual minimize the structure's presence.





City of Mobile • Historic Development

Architectural Review Board Application

May 21, 2026

Date of Application

Date Received

401 Civic Center Drive, Mobile, AL 36602

Address of Property

Does any party hold a façade easement on this property? ☒ No ☐ Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

\$0.00

Fee Paid: ☐ \$ N/A

Check # _____

Cost of Project (Required)

City of Mobile

251-208-7536

carleen.stout@cityofmobile.org

Owner Name

Phone

Email

205 Government Street, Mobile, AL

36602

Address

Zip Code

If Owner is a legal entity such as a corporation, limited liability company, limited liability, partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.

Sam Matheny

864-245-1917

sam.matheny@volkert.com

Owner's Representative Name

Phone

Email

11 N Water St, Suite 18290, Mobile, AL

36602

Address

Zip Code

Describe the Proposed Work:

Requesting approval of loading dock guard shack for the Mobile Arena approved in concept under ARB Permit MHDC-140807-2024. The guard shack is a pre-engineered modular structure designed to coordinate with the dark bronze fencing, dark bronze exterior signage, and other dark bronze Arena exterior elements approved under ARB Permit MHDC-140807-2024.

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: www.BuildMobile.org | historicdevelopment@cityofmobile.org | 251.208.7281

Visit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

Revised August 2023

Does the work involve demolition of a structure? ☒ **No** ☐ **Yes** Please fill out demolition portion of application.

Does the proposed work involve signage? ☒ **No** ☐ **Yes** The project signage details are partially dependent upon sponsorship deals that will be developed by the City of Mobile at a later date. A signage plan will be submitted to ARB for approval prior to installation of signage.

Will the proposed work require the removal of any trees from the site? ☒ **No** ☐ **Yes**

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

REQUIRED PLANS: If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

**Use the Following Checklist to Ensure a Complete Application
Complete each box that applies:**

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

- 1. One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. ____ A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. ____ Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. ____ Square footage of the original building with square footage of all additions including the proposed addition;
 - d. ____ A drawing, with dimensions, of all affected exterior elevations;
 - e. ____ Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. ____ Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. ____ Paint samples and plan keyed to location of each color. (See below)
- 2. Photographs of the subject property to be worked on and surrounding buildings are required.**
 - ____ Subject Property photographs
 - ____ Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. ____ Elevation drawings with dimensions and material details
2. ____ Floor plans
3. ____ Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

____ Manufacturer
____ main body color
____ trim or decorative features
____ porch deck
____ accent areas: lattice, shutters, etc.
____ other areas

FENCES, DRIVES AND GATES

1. ____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. ____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. ____ A description of the materials to be used.
4. ____ Paint samples, if the fence, wall or gate is to be painted.

SIGNAGE

Width of sign ____ feet ____ inches

Height of sign: ____ feet ____ inches

Single Face ____ Double Face ____

Height (from ground level to top of sign) ____ feet ____ inches

Height (from ground level to bottom of sign) ____ feet ____ inches

Total Square Footage of Signage: _____ square feet. (Both sides if double-faced)

General Description

Type of Sign: ☐ Monument ☐ Free Standing ☐ Projecting ☐ Wall ☐ Banner ☐ Sandwich Board

How will sign be mounted:

Sign Materials (sample materials may be requested by the Review

Board): _____

Describe type of lighting to be used: _____

Linear front footage of principle building: ____ feet ____ inches.

Square footage of Existing Signage: ____ feet ____ inches N/A ____

Include in Application:

____ Scaled colored renderings of the requested sign; or photographs with dimensions

____ Photographs of the building

____ A site plan or building elevation showing the location of the proposed signage For specific requirements, refer to *Sign Design Guidelines for Mobile's Historic District and Government Street*.

DEMOLITION APPLICATION

Purchase Date: _____ Purchase Price: _____

Current appraised value of the property? _____ (N/A if Not Available)

Was the property occupied at time of purchase? _____ What was the property's condition? _____

What alternatives to demolition have you considered for this property?

Have you listed the property for sale or lease since your purchase? ☐ Yes ☐ No

If "Yes", what was your asking price? _____

How many offers did you receive? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have construction plans ready to complete the replacement project? ☐ Yes ☐ No

If so, how much have you expended on the plans? _____

What are the dates of these expenditures? _____

In order to determine your ability to complete the replacement project, do you have the following:

Performance Bond ☐ Yes ☐ No

Letter of Credit ☐ Yes ☐ No

Trust for completion of improvements ☐ Yes ☐ No

Other evidence of financial ability ☐ Yes ☐ No

Letter of commitment from a financial institution ☐ Yes ☐ No

**"In no event shall the Board entertain any application for the demolition or relocation of any Historic Property unless the applicant also presents at the same time the post-demolition or post-relocation plans for the site."
Ordinance #44-084**

An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.
SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.

Signature

Date

4/10/2024 9:10:11 TEMPLATE VERSION: 2022.1

RESUBDIVISION OF MOBILE CIVIC CENTER SUBDIVISION
LEGAL DESCRIPTION
JANUARY 20, 2025

STATE OF ALABAMA
COUNTY OF MOBILE

LOT 3, BLOCK 13 OF THE RESUBDIVISION OF A PORTION OF BLOCKS 7, 8, AND 13 AND ALL OF BLOCKS 8, 9, 10, & 12, LAND DISPOSAL MAP, EAST CHURCH STREET AREA, PROJECT ALA R-33, AS RECORDED IN MAP BOOK 18, PAGE 107, OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA.

AND
LOT 1, BLOCK 13, LAND DISPOSAL MAP OF THE EAST CHURCH STREET AREA, PROJECT ALA R-33 (FIRST ADDITION), AS RECORDED IN MAP BOOK 19, PAGE 133, OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA.

AND
LOT "B", MOBILE CIVIC CENTER SUBDIVISION, AS RECORDED IN INSTRUMENT NO. 2023010709 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA.

AND
THAT PARCEL DESCRIBED AS PARCEL 2 OF 2 IN THE OUTCLAIM DEED FROM THE STATE OF ALABAMA TO THE CITY OF MOBILE, ALABAMA, RECORDED IN INSTRUMENT NO. 2024010600 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA.

ALL TOGETHER MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A CAPPED REBAR (WATTIER) AT THE SOUTHEAST CORNER OF LOT "B", MOBILE CIVIC CENTER SUBDIVISION, AS RECORDED IN INSTRUMENT NO. 2023010709 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA, THENCE RUN NORTH 81°15'53" WEST ALONG SAID LOT "B" A DISTANCE OF 28.49 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN NORTH 01°46'07" EAST ALONG SAID LOT "B" A DISTANCE OF 12.40 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN NORTH 85°15'53" WEST ALONG SAID LOT "B" A DISTANCE OF 393.14 FEET TO A NAIL & DISK (WATTIER) IN ASPHALT; THENCE RUN SOUTHWESTWARDLY ALONG SAID LOT "B" AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 90°00'00", A RADIUS OF 25.00 FEET, A CHORD BEARING OF SOUTH 46°46'07" WEST, AND A CHORD LENGTH OF 35.38 FEET) AN ARC DISTANCE OF 39.27 FEET TO A NAIL & DISK (WATTIER) IN ASPHALT; THENCE RUN SOUTH 01°46'07" EAST ALONG SAID LOT "B" A DISTANCE OF 225.18 FEET TO A NAIL & DISK (WATTIER) IN ASPHALT; THENCE RUN SOUTHEASTWARDLY ALONG SAID LOT "B" AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 99°24'30", A RADIUS OF 25.00 FEET, A CHORD BEARING OF SOUTH 47°56'08" EAST, AND A CHORD LENGTH OF 38.14 FEET) AN ARC DISTANCE OF 43.38 FEET TO THE NORTH RIGHT-OF-WAY LINE OF CANAL STREET (VARIABLE R/W); THENCE RUN WESTWARDLY ALONG SAID LOT "B" ALONG SAID NORTH RIGHT-OF-WAY LINE, AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING A DELTA OF 05°27'42", A RADIUS OF 613.16 FEET, A CHORD BEARING OF SOUTH 85°05'29" WEST, AND A CHORD LENGTH OF 58.43 FEET) AN ARC DISTANCE OF 58.43 FEET TO A CAPPED REBAR (WATTIER); THENCE RUN NORTHWESTWARDLY ALONG SAID LOT "B", ALONG SAID NORTH RIGHT-OF-WAY LINE, AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING A DELTA OF 72°24'17", A RADIUS OF 72.12 FEET, A CHORD BEARING OF NORTH 55°58'32" WEST, AND A CHORD LENGTH OF 85.19 FEET) AN ARC DISTANCE OF 91.13 FEET TO A CAPPED REBAR (WATTIER) ON THE EAST RIGHT-OF-WAY LINE OF S. LAWRENCE STREET (40' R/W); THENCE RUN NORTH 81°57'11" WEST ALONG SAID LOT "B" AND ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 1.17 FEET TO A NAIL & DISK (WATTIER) IN CONCRETE; THENCE RUN NORTH 21°58'31" WEST ALONG THE WEST LINE OF SAID LOT "B", ALONG THE WEST LINE OF LOT 1, BLOCK 13, LAND DISPOSAL MAP OF THE EAST CHURCH STREET AREA, PROJECT ALA R-33 (FIRST ADDITION) AS RECORDED IN MAP BOOK 19, PAGE 133 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA, ALONG THE WEST LINE OF LOT 3, BLOCK 13, OF THE RESUBDIVISION OF A PORTION OF BLOCKS 7, 8 AND 13 AND ALL OF BLOCKS 8, 9, 10, AND 12, LAND DISPOSAL MAP OF THE EAST CHURCH STREET AREA, PROJECT ALA R-33 AS RECORDED IN MAP BOOK 18, PAGE 107 OF THE RECORDS IN THE OFFICE OF THE JUDGE OF PROBATE, MOBILE COUNTY, ALABAMA, AND ALONG THE EAST RIGHT-OF-WAY LINE OF SAID S. LAWRENCE STREET A DISTANCE OF 1,052.50 FEET TO A NAIL & DISK (WATTIER) IN CONCRETE AT THE NORTHWEST CORNER OF SAID LOT 3; THENCE RUN NORTH 67°59'07" EAST-OF-WAY LINE OF CIVIC CENTER DRIVE (50' R/W) AND ALONG THE NORTH LINE OF SAID LOT 3 A DISTANCE OF 209.96 FEET TO A NAIL & DISK (WATTIER) IN CONCRETE; THENCE RUN NORTHWESTWARDLY ALONG SAID NORTH RIGHT-OF-WAY LINE, ALONG THE NORTH LINE OF SAID LOT 3, AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 22°34'30", A RADIUS OF 214.88 FEET, A CHORD BEARING OF NORTH 56°42'42" EAST, AND A CHORD LENGTH OF 84.04 FEET) AN ARC DISTANCE OF 84.59 FEET TO A NAIL & DISK IN CONCRETE (WATTIER); THENCE RUN NORTHWESTWARDLY ALONG SAID NORTH RIGHT-OF-WAY LINE, ALONG THE NORTH LINE OF SAID LOT 3, AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING A DELTA OF 44°15'42", A RADIUS OF 208.60 FEET, A CHORD BEARING OF NORTH 07°33'41" EAST, AND A CHORD LENGTH OF 164.83 FEET) AN ARC DISTANCE OF 158.75 FEET TO A NAIL & DISK IN CONCRETE (WATTIER); THENCE RUN NORTHWESTWARDLY ALONG SAID NORTH RIGHT-OF-WAY LINE, ALONG THE NORTH LINE OF SAID LOT 3, AND ALONG THE ARC OF A CURVE TO THE LEFT (HAVING A DELTA OF 21°41'12", A RADIUS OF 249.35 FEET, A CHORD BEARING OF NORTH 78°50'33" EAST, AND A CHORD LENGTH OF 39.82 FEET) AN ARC DISTANCE OF 94.38 FEET TO A NAIL & DISK IN CONCRETE (WATTIER); THENCE RUN NORTH 88°20'07" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE NORTH LINE OF SAID LOT 3 A DISTANCE OF 274.16 FEET TO A CAPPED REBAR (WATTIER) AT THE NORTHEAST CORNER OF SAID LOT 3 AND A CORNER OF SAID LOT "B"; THENCE RUN NORTH 88°20'07" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE NORTH LINE OF SAID LOT 2 A DISTANCE OF 20.29 FEET TO A NAIL & DISK (WATTIER) IN CONCRETE AT A CORNER OF SAID LOT "B"; THENCE RUN SOUTH 45°12'51" EAST ALONG THE EAST LINE OF SAID LOT "B" AND ALONG THE WEST RIGHT-OF-WAY LINE OF S. CLAIBORNE STREET (VARIABLE R/W) A DISTANCE OF 108.06 FEET TO A NAIL & DISK (WATTIER) IN CONCRETE; THENCE RUN SOUTHWARDLY ALONG THE EAST LINE OF SAID LOT "B", ALONG THE WEST RIGHT-OF-WAY LINE OF SAID S. CLAIBORNE STREET, AND ALONG THE ARC OF A CURVE TO THE RIGHT (HAVING A DELTA OF 51°29'13", A RADIUS OF 562.81 FEET, A CHORD BEARING OF SOUTH 19°29'15" EAST, AND A CHORD LENGTH OF 488.80 FEET) AN ARC DISTANCE OF 505.75 FEET TO A NAIL & DISK (WATTIER) IN CONCRETE; THENCE RUN SOUTH 06°15'22" WEST ALONG THE EAST LINE OF SAID LOT "B" AND THE WEST RIGHT-OF-WAY LINE OF SAID S. CLAIBORNE STREET A DISTANCE OF 47.80 FEET TO A 6"X6" CONCRETE MONUMENT; THENCE RUN SOUTH 06°16'22" WEST ALONG SAID WEST RIGHT-OF-WAY LINE A DISTANCE OF 102.00 TO A 6"X6" CONCRETE MONUMENT; THENCE RUN SOUTH 06°30'45" WEST ALONG THE EAST LINE OF SAID LOT "B" AND ALONG SAID WEST RIGHT-OF-WAY LINE A DISTANCE OF 388.73 FEET TO THE POINT OF BEGINNING.

4/10/2024 9:10:11 TEMPLATE VERSION: 2022.1

AM

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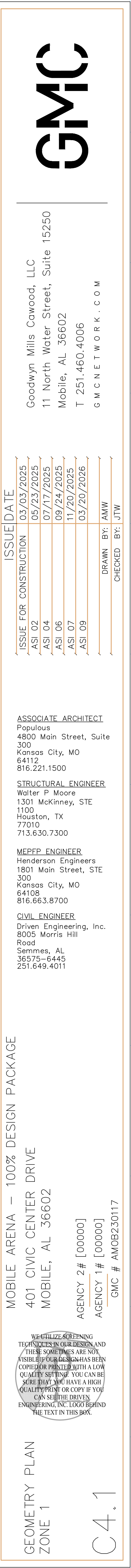
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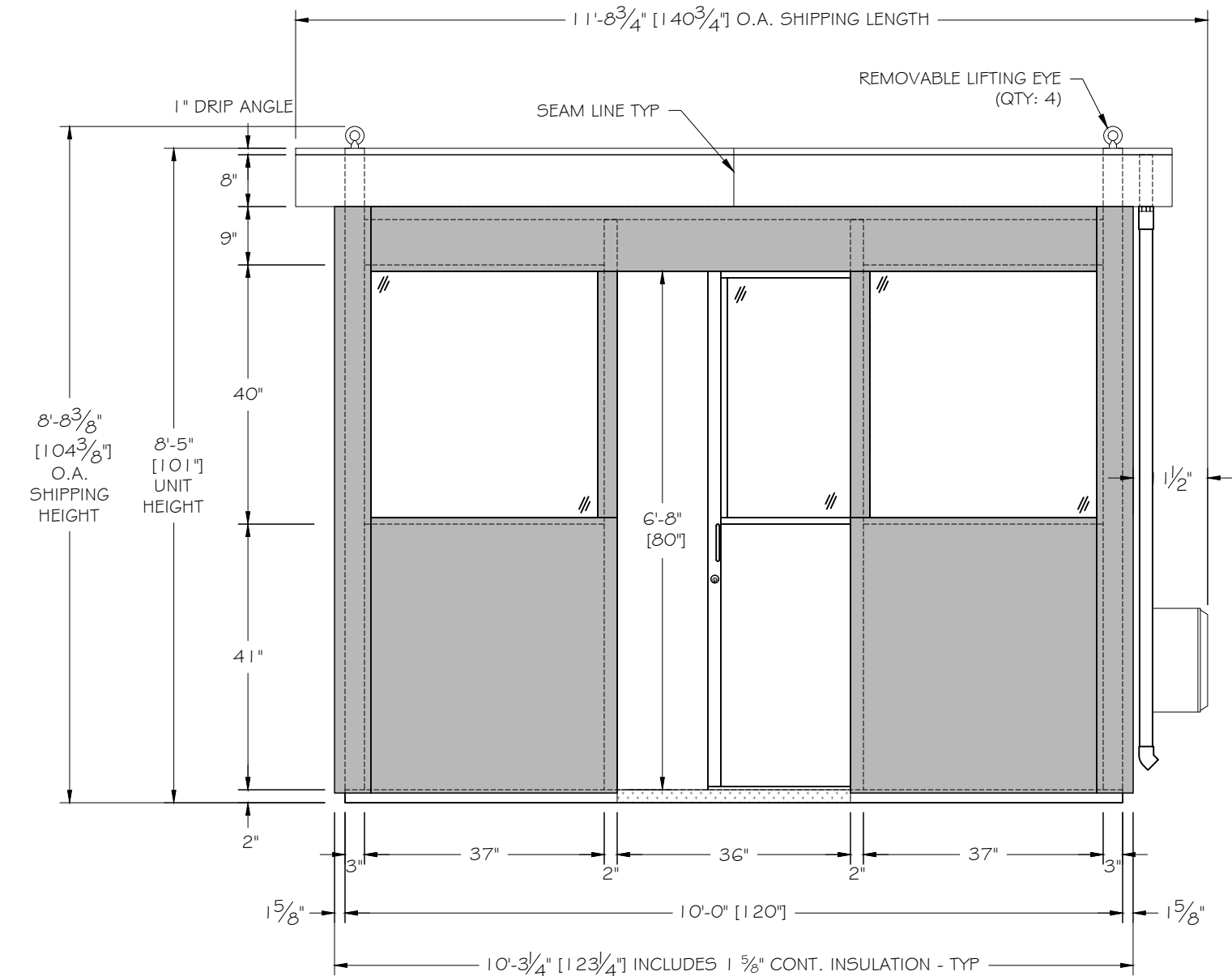


POINT DESCRIPTIONS	
CW	CONCRETE WALK
EOA	EDGE OF ASPHALT
FOC	FACE OF CURB
GUT	GUTTER
RP	RADIUS POINT

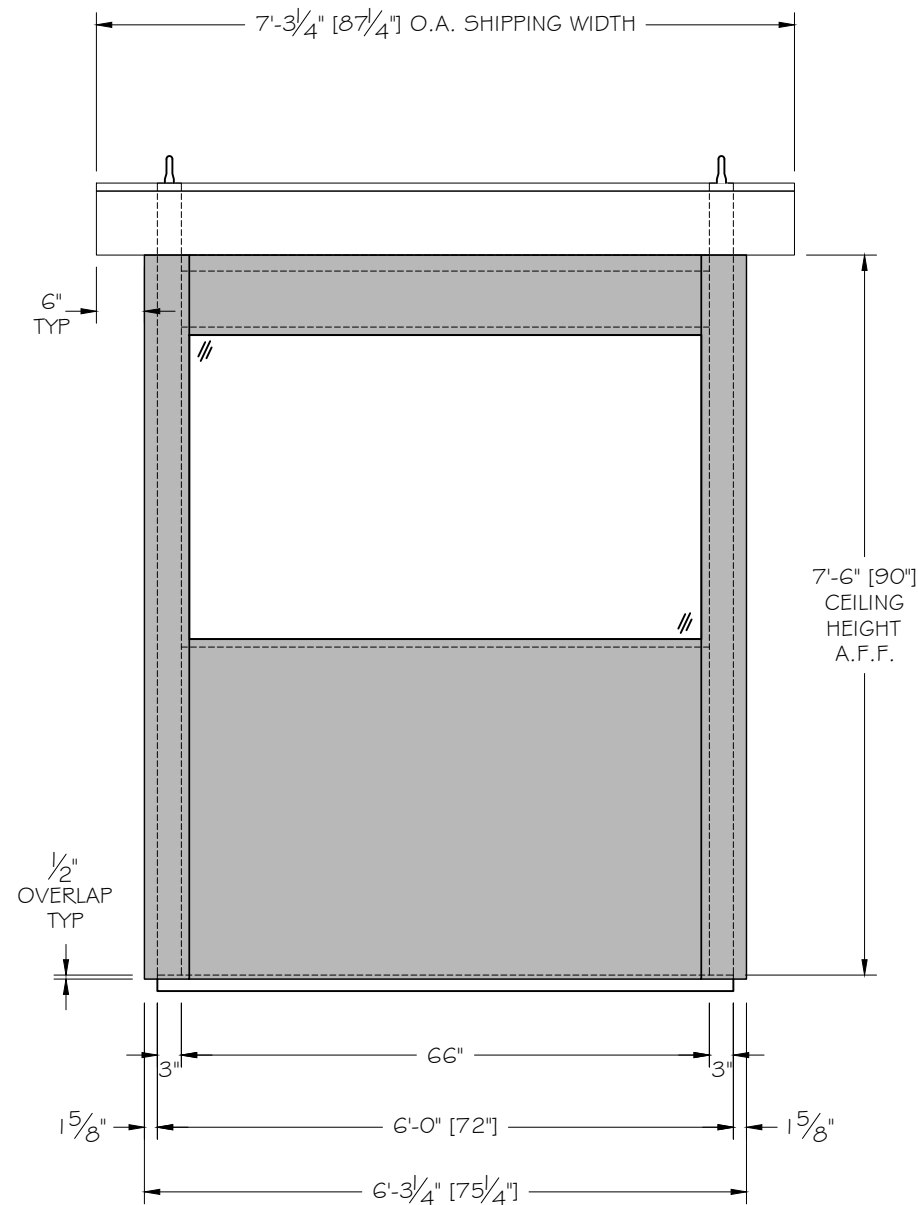
NOTES:

1. ALL STAIRS, WALLS, CONCRETE SIDEWALKS, AND CONCRETE BUILDUP DETAILED BY LANDSCAPE ARCHITECTS.
2. ALL DIMENSIONS SHOWN HEREON ARE TO THE FACE OF CURB, UNLESS OTHERWISE INDICATED. DIMENSIONS FOLLOWED BY THE DESIGNATION "BC" ARE TO THE BACK OF CURB.
3. SEVERAL LAYOUT POINTS THAT APPEAR TO BE CURB LAYOUT POINTS ARE SIDEWALK LAYOUT POINTS. THESE ARE LOCATED AT THE "BACK" OF CURB. CONTRACTOR IS TO EXERCISE CAUTION WHEN LAYING OUT CURBS TO ENSURE THAT SIDEWALK POINTS DO NOT AFFECT CURB ALIGNMENT LAYOUT.

MODEL: DS680A



E1 LEFT ELEVATION
SCALE: 1/2" = 1'-0"



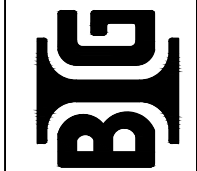
E2 FRONT ELEVATION
SCALE: 1/2" = 1'-0"

SHEET
2
OF
8

JOB No: 11767
BY: RG Rev_B: 1-30-25
DATE: 4-4-25
SCALE: AS NOTED

B.L. HARBERT INTERNATIONAL
MOBILE ARENA GUARD BOOTH

B.I.G. ENTERPRISES, INC.
9702 E. RUSH STREET
SOUTH EL MONTE, CA 91733-1730
(626) 448-1449



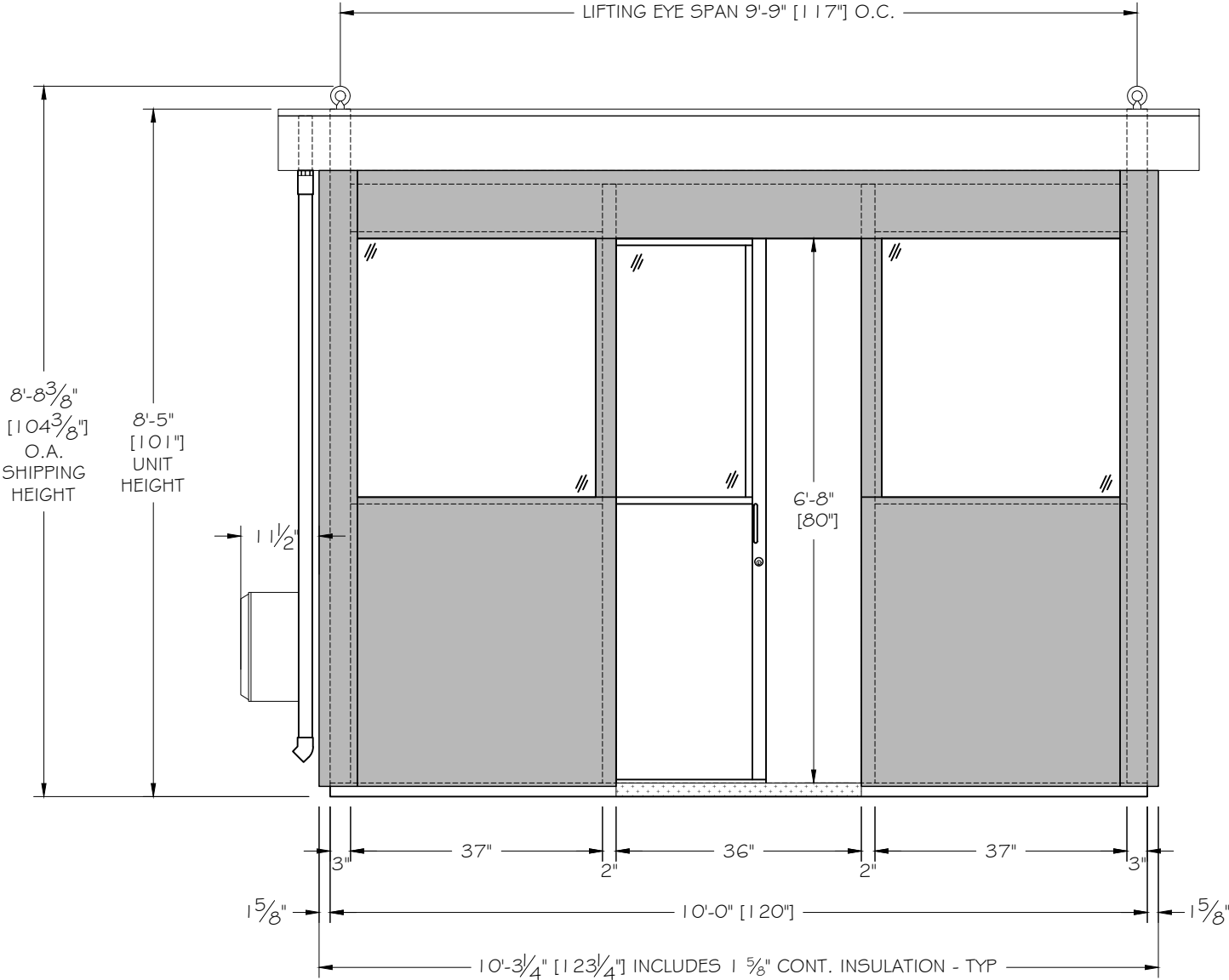
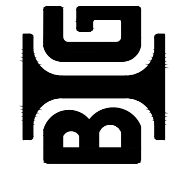
MODEL: DS680A

SHEET
3
OF
8

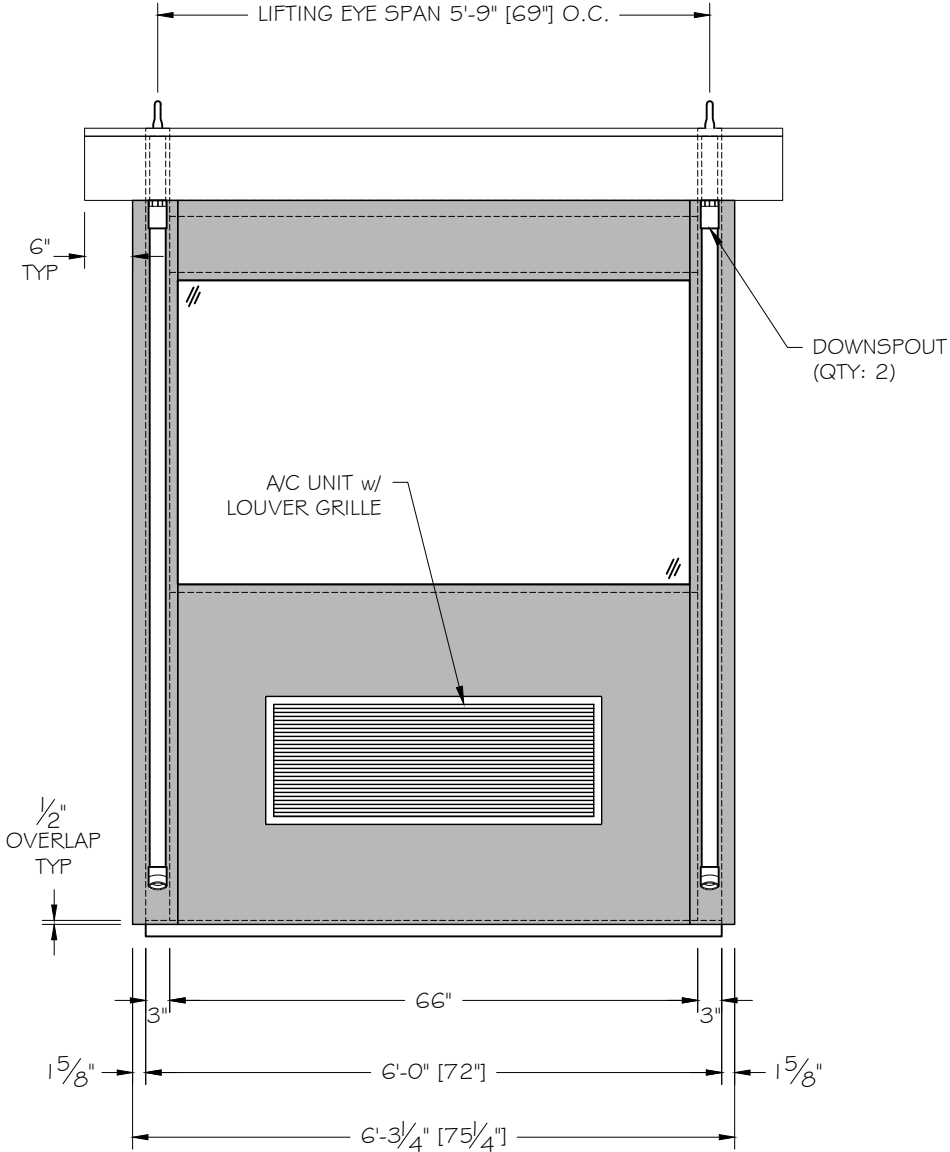
JOB No:11767
BY: RG Rev_B: 1-30-25
DATE: 4-4-25
SCALE: AS NOTED

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E3 RIGHT ELEVATION
SCALE: 1/2" = 1'-0"



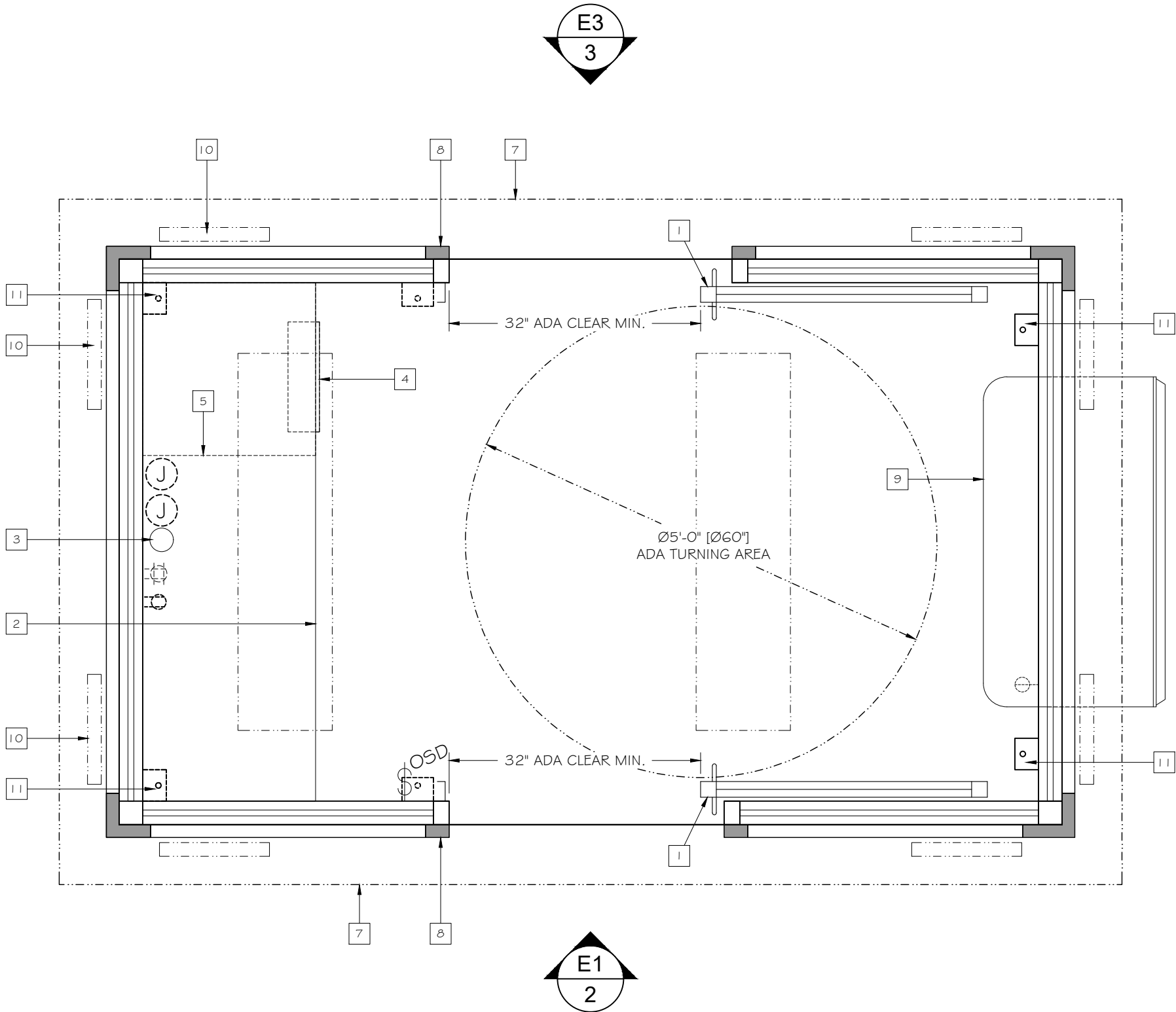
E4 REAR ELEVATION
SCALE: 1/2" = 1'-0"

MODEL: DS680A

FLOOR PLAN LEGEND:

- 1 36" x 80" SLIDING DOOR - GENERAL NOTE D1
- 2 22" DEEP SHELF - GENERAL NOTE A1
- 3 Ø3" CORD ACCESS HOLE - GENERAL NOTE A1
- 4 LOAD CENTER - ELECTRICAL NOTE E1
- 5 ELECTRICAL CABINET - ELECTRICAL NOTE E1
- 6 ITEM REMOVED
- 7 OVERHANG - GENERALS NOTE R1
- 8 CONT. INSULATION PANELS - GENERAL NOTE S3
- 9 A/C UNIT - GENERAL NOTE M1
- 10 SOFFIT VENTS
- 11 ANCHOR CLIP (QTY: 4) - GENERAL NOTE S6

ELECTRICAL NOTES & PLAN ON SHEET 6 & 7



FLOOR PLAN

SCALE: 3/4" = 1'-0"

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SHEET
4
OF
8

JOB No:11767
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GENERAL NOTES:

STRUCTURAL:

- S1.

Frame members to consist of **2" x 3" x .120" and 3" x 3" x .120"** steel tubes.
- S2.

Unit to have half glazed 16 ga galvanized steel walls & interior liners.
- S3.

Walls to have **R-10** insulation value plus a layer of continuous **R-9.6** insulation encapsulated in an exterior 16 ga galvanized steel wall. Overall insulation value is R-19.6
- A.

ITEM REMOVED.
- S4.

Unit to have a 12 ga A653 galvanized steel floor covered with 1/4" thick x 20" square, black commercial polyvinyl chloride interlocking tiles with a 4" high black perimeter cove molding. Floor to be mounted on a **2" tall** galvanized steel tube frame. Continuous insulation panels to overlap floor frame by 1/2".
- A.

Floor will require a ramp the full width of one door opening with a slope of 1" to 1'- 0" to meet ADA handicap access requirements (ramp by others onsite) or alternatively the booth can be recessed 2" into the slab.

CAUTION: Please contact your sales representative for additional information when planning on recessing the booth into the slab.

- S5.

Unit to have six interior anchor clips. Six 5/8" Hilti KH-EZ anchor screws (ICC-ESR-3027) with a 4" minimum embedment in 2500 psi concrete (or equal) are required for placement of booth (**Anchor screws are not included**). Concrete to be level. If sloped, slope towards drain opening(s) on booth. Concrete and booth installation shall be by others. For a 4" embedment the foundation/slab design must be a minimum of 6" thick and be sized to allow for a minimum distance of 6" from the edge of the slab to the center line of the anchors for maximum strength.

ROOF:

- R1.

Unit to have a **8" tall fascia with a 6" overhang on all sides**. The roof is to be a 16ga galvanized steel flat roof with 1" drip angle all around to drain through two rear mount Ø1-1/2" PVC downspouts. Refer to note (F4.) for roof coatings.
- R2.

Roof to have an **R-19** insulation value.
- R3.

Unit to have four removable lifting eyes (3/4" dia. shank, eye is 1-1/2" I.D.) mounted on the roof. Lifting eyes are designed for a **STRAIGHT VERTICAL LIFT ONLY**. Spreader bars must be used when lifting booth to ensure this vertical lift. All warranties will be void if not lifted in this manner.

DOORS:

- D1.

Unit to have Two 36" x 80" commercial grade steel framed slide doors constructed of 16 ga steel panels with steel tube frames. Doors to be top hung, in a steel track, on a minimum of eight 2 1/4" steel ball bearing rollers with stainless steel lower guide, mortise hook type lock, stainless steel pull handles welded on to the frame, and complete weather stripping.
- A.

Doors to be keyed alike.

WINDOWS:

- W1.

Unit to have **3/4" Bronze Tinted** dual pane insulated tempered, safety glass with a make up of 1/4" tinted, 1/4" air space, 1/4" clear with Low-E coating.

ACCESSORIES:

- A1.

Unit to have one 22" deep front shelf with Ø3" cord access holes with grommets for drop down cords. Shelf to be 16ga steel, painted the same color as the booth interior and mounted at 34" above finished floor (A.F.F.).
- A.

Shelf to be rated for a 250 lb. load.

FINISHES & WEATHER PROOFING:

- F1.

The unit is to have an **16 ga galvanized steel ceiling painted same color as booth and mounted at (7'-6") 90" above finished floor (A.F.F.)**
- F2.

All exposed steel surfaces except roof deck to be coated with two component high solids polyurethane rust inhibitive primer, and two component high solids polyurethane finish coat.
- F3.

Unit to be painted one color, inside and out.
A. Color to be selected prior to manufacturing.
- F4.

Roof to be fully weather sealed with a three step elastomeric membrane as follows:

A.

All seams are sealed with a high bond seam sealing tape.

B.

The entire roof deck is then coated with a liquid applied one-part polyurethane coating forming a tough waterproof, weather-resistant elastomeric coating.

C.

The entire deck surface finished with a white heat reflective polyurethane coating. The coating meets Energy Star reflectance and emissivity performance requirements, has an SRI of 95, and is approved by the Cool Roof Rating Council (CRRC).





MOBILE ARENA - GUARD SHACK AT LOADING DOCK ENTRY