



Agenda Item # 2

Application 2026-40-CA

DETAILS

Location:

307 N Jackson Street

Summary of Request:

Restoration to existing two-story wood frame dwelling.

Applicant:

Douglas Kearley

Property Owner:

Russell Perkins

Historic District:

DeTonti Square

Classification:

Contributing

Summary of Analysis:

- The proposed in-kind repair or replacement of damaged materials of the subject property are compliant with the *Guidelines*.
- The location of the fencing and mechanical equipment is compliant with the *Guidelines*.
- The CRC and the Properties Committee of the MHDC have reviewed and approved the subject project.

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PROPERTY AND APPLICATION HISTORY

DeTonti Square Historic District was initially listed in the National Register in 1972 under Criterion A for social and urban planning significance and Criterion C for significant architecture. The district was one of two historic districts created by a municipal ordinance in 1962 in an effort to halt the rapid demolition of historic buildings near the city's central business district. The district, named for the French explorer Henri DeTonti, contains a few structures surviving from the 1830s, but the majority were built in the 1850s as residences of the wealthy and influential cotton factors, merchants, and planters.

This contributing property is a two-story Italianate, clapboard covered, frame structure with an offset rear wing to the north which was constructed in 1874 for William B. Riley. The 1904 Sanborn map (the earliest Sanborn Map which depicts the property) shows a dwelling with a two-story full-width front porch and rear two-story porch on the south elevation of the rear wing. The structure's primary mass is three bays wide and four bays long and features a hipped roof with box cornice above pierced sawn scroll brackets which wrap around the east façade and side elevations. The porch on the east façade features Victorian elements such as turned posts with pierced brackets that support a decorative row of turned spindles, carved handrail with turned balusters, and scalloped and pierced fringe board which ends with a pendant on each end of the porch. These elements were likely added when the property was renovated sometime around 1887. The 1924 Sanborn Map shows little change to the house; however, in the 1955 updated map the structure had been converted into a duplex. A later addition was constructed on the south elevation sometime after 1955.

This property has appeared before the Architectural Review Board three times. On November 2, 1982, a COA approval was given by the Board for the installation of a burglar door on the east façade of the structure. April 15, 1986, approval was given by the Board for signage for the St. James Masonic Lodge. On July 14, 1989, approval was given to enclose the rear porch.

SCOPE OF WORK

Renovations to existing two-story wood frame dwelling

All Elevations

1. In-kind repairs to all existing windows and doors.
2. In-kind repair of existing wood clapboard siding or in-kind replacement of missing or damaged clapboard siding to match existing siding in material, dimensions, and profile.
3. Repoint and in-kind repairs to masonry piers.
4. Installation of wood lattice foundation infill panels to cover existing CMU blocks.

East facade

1. Restore existing two-story full width porch in-kind to replace any missing trim pieces to match existing.

South elevation of rear wing

1. Removal of later, post 1955, one-story rear addition.
2. Reconstruction of the two-story rear porch along the south elevation of the off-set rear wing.
Porch renovations will include:
 - a. New wood columns that feature custom capitals.
 - b. New wood handrails.

- c. New centrally located wood steps accessing first floor porch
- 3. Fenestration changes will read as follows:
 - i. First Floor: One new 2'10" W x 6'6" H double hung wood six-over-six window to match existing located on the east end of elevation.
 - ii. Second Floor (From east to west): One new 2'10" W x 5'10" H double hung wood six-over-six window to match existing; One new 2'10" W x 5'10" H double hung wood six-over-six window to match existing; Existing door.

West elevation

- 1. Restore existing door frames and transoms with new salvaged wood panel doors measuring 3' W x 7' H that will lead out to the first and second floor rear porch.

Site Improvements

- 1. 4' H wood lattice screening to conceal mechanical equipment located at the northeast corner of the dwelling where the primary massing of the structure meets the wing.
- 2. Install 10' W crushed gravel driveway located 4' south of the dwelling along its south elevation, terminating at the southwest corner of the primary massing of the structure.
- 3. In-kind repairs to existing 6' privacy fence with the installation of two gates described as follow:
 - a. 3' W wood gate to be located at the northwest corner of the rear wing.
 - b. 5' W pair of wood gates to be located at the west end of the crushed gravel driveway, at the southwest corner of the primary massing of the structure.
- 4. Install 4' W brick walkway connecting the sidewalk to the front porch steps. .
- 5. Install concrete sidewalk along east property line

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

- 5.3 Preserve the key historic walls of a building.
 - Maintain significant historic façades in their original form.
 - Maintain historic façade elements.
 - Pay special attention to maintaining the historic appearance of building walls of corner buildings.
- 5.4 Preserve original building materials.
 - Repair deteriorated building materials by patching, piecing-in, consolidating or otherwise reinforcing the material. Maintain protective coatings to prevent deterioration and ultraviolet damage.
 - Remove only those materials which are deteriorated, and beyond reasonable repair.
 - Do not remove original materials that are in good condition.
- 5.5 Preserve and restore the visibility of original historic materials.
 - Consider removing later covering materials that have not achieved historic significance.
 - Once a non-historic siding is removed, repair the original, underlying material.
 - Carefully remove a later stucco finish if the process does not damage the underlying original building material if possible.
 - Do not remove a later stucco covering if the process may damage the underlying original building material. Test the stucco to assure that the original material underneath will not be damaged.
 - Do not cover or obscure original building materials.
- 5.6 Use original materials to replace damaged materials on primary surfaces where possible.

- Use original materials to replace damaged building materials on a primary façade if possible. If the original material is wood clapboard, for example, then the replacement material should be a material that matches the original in finish, size and the amount of exposed lap. If the original material is not available from the site, use a replacement material that is visually comparable with the original material.
- Replace only the amount of material required. If a few boards are damaged beyond repair, for example, then only they should be replaced, rather than the entire wall.
- Do not replace building materials on the primary façade, such as wood siding and masonry, with alternative or imitation materials unless it cannot be avoided.
- Wholesale replacement of exterior finishes is generally not allowed.
- 5.7 When replacing materials on a non-primary façade or elevation, match the original material in composition, scale and finish.
 - Use original materials to replace damaged materials on a non-primary façade when possible.
 - The ARB will consider the use of green building materials, such as those made with renewable and local resources to replace damaged materials on a nonprimary façade if they do not impact the integrity of the building or its key features.
 - Use alternative or imitation materials that match the style and detail of the original material to replace damaged non-primary building materials.
 - Replace exterior finishes to match original in profile, dimension and materials.
- 5.14 Preserve the decorative and functional features of a primary door.
 - Original doors and openings, including their dimensions, should be retained along with any moldings, transoms or sidelights.
 - Maintain the original position and proportions of a historically significant door.
- 5.15 Repair or replace a damaged historic door to maintain its general historic appearance.
 - Replacements should reflect the age and style of the building.
 - Use materials that are visually comparable to that of the original.
 - Do not use solid core or flush doors.
- 5.17 Preserve historic stylistic and architectural details and ornamentation.
 - Preserve storefronts, cornices, turned columns, brackets, exposed rafter tails, jigsaw ornaments and other key architectural features that are in good condition.
 - Retain historic details and ornamentation intact.
 - Retain and treat exterior stylistic features and examples of skilled craftsmanship with sensitivity.
 - Repair historic details and ornamentation that are deteriorated.
 - Employ preventive maintenance measures such as rust removal, caulking and repainting.
 - Minimize damage to historic architectural details when repairs are necessary.
 - Document the location of a historic feature that must be removed and repaired so it may be repositioned accurately.
 - Patch, piece-in, splice, consolidate or otherwise upgrade deteriorated features using recognized preservation methods.
 - Stabilize or fix isolated areas of damage using consolidants. Epoxies and resins may be considered for wood repair.
 - Protect significant features that are adjacent to the area being worked on.
- 5.19 Where repair is impossible, replace details and ornamentation accurately.
 - When replacing historic details, match the original in profile, dimension, and material.

- A substitute material may be considered if it appears similar in character and finish to the original. A measured drawing may be required in these instances to recreate missing historic details from photographs.
- Do not apply architectural details that were not part of the original structure. For example, decorative mill work should not be added to a building if it was not an original feature. Doing so would convey a false history.
- 5.20 Preserve the functional historic and decorative features of a historic window.
 - Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material.
 - Preserve historic window features, including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, and groupings of windows.
 - Repair, rather than replace, frames and sashes, wherever possible.
 - For repair of window components, epoxies and related products may serve as effective solutions to material deterioration and operational malfunction.
- 5.21 When historic windows are not in a repairable condition, match the replacement window design to the original.
 - In instances where there is a request to replace a building's windows, the new windows shall match the existing as per location, framing, and light configuration.
 - Use any salvageable window components on a primary elevation.
- 5.31 Minimize the visual impacts of communications equipment and mechanical equipment.
 - Position communications equipment to be hidden or minimally visible from public streets (including both streets on corner lots).
 - Remove communications equipment that is no longer functional.
 - Combine multiple antennae into one array wherever possible. Install satellite and telecommunications dishes that are minimal in size.
 - Do not damage exterior woodwork or trim detail during installation of communications equipment.
 - Screen freestanding communications equipment from public view.
- 10.2 Design a fence to be compatible with the architectural style of the house and existing fences in the neighborhood.
 - REAR AND NON-CORNER SIDE FENCES (LOCATED BEHIND THE FRONT BUILDING PLANE)
Design a fence located behind the front building plane to not exceed 72" in height. If the subject property abuts a multi-family residential or commercial property, a fence up to 96" will be considered. » An alternative fence material with proven durability, matte finish and an accurate scale and proportion of components is acceptable. A simple wood and-wire fence is acceptable provided it is appropriate to the style of the house
- 10.5 Visually connect the street and building.
 - Maintain or install a walkway leading directly from the sidewalk to the main building entry.
- 10.6 Install a new sidewalk to be compatible with historic ones in the area.
 - Maintain the existing width of neighboring sidewalks.
 - Use a traditional sidewalk material as seen in the district if permitted by the City Code. Consult Staff if necessary.

DRIVEWAYS AND PARKING AREAS

- 10.7 Minimize the visual impact of parking.
 - Locate a parking area at the rear or to the side of a site whenever possible.

- Use landscaping to screen a parking area.
- Minimize the widths of a paved area or a curb cut.
- If a curb cut is no longer in use, repair the curb. In some areas, granite curbs may be required.
- Do not use paving in the front yard for a parking area. Paving stones might be acceptable in certain instances.
- Do not create a new driveway or garage that opens onto a primary street.

ACCEPTABLE WALK AND PAVING MATERIALS

- Materials that have a similar character, durability and level of detail to walks and paved areas associated with historic properties in the district are acceptable. These often include:
 - Gravel or crushed stone
 - Shell
 - Brick
 - Cobblestone
 - Grasspave or grasscrete (mix of grass and hard surface paving material that provides a solid surface)

STAFF ANALYSIS

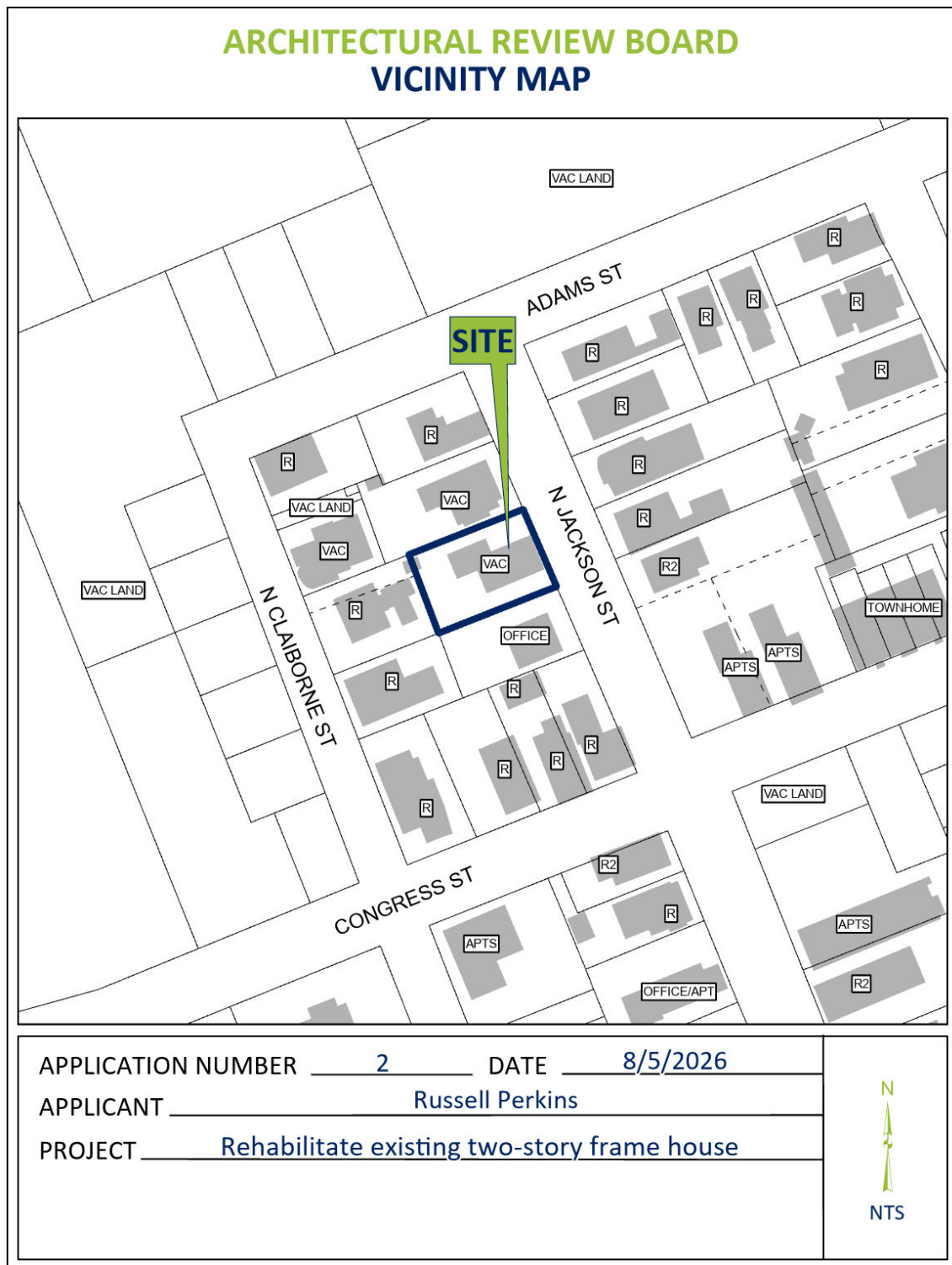
The contributing property under review is an 1874 Italianate dwelling located in the DeTonti Square Historic District. The application proposes extensive renovations to the property including rebuilding the rear porch, replacing missing trim detailing on the front porch, and restoration of existing windows and doors on the structure. The property is located within the Downtown Development District which is subject to review by the Consolidated Review Committee. The application to the CRC was approved. Additionally, the property has an easement with the Mobile Historic Development Commission. The property committee for the MHDC was contacted for comments and approved the subject proposal.

The *Design Review Guidelines* prioritize preservation when discussing renovations to existing structures (5.3-5.6, 5.17). The proposed scope of work for this contributing property aligns with this prioritization by repairing in-kind the historic decorative and design elements of the dwelling such as the gingerbread trim on the front porch and the restoration of the rear porch on the south elevation of the rear wing that was enclosed sometime around 1990. The *Guidelines* provide that in cases when missing or damaged materials need to be replaced, the new materials should match existing (5.7). The proposal to replace large sections of missing and damaged wood clapboard siding to repair the original rear wing porch includes the use of in-kind materials to match design, dimensions, and profile of the existing materials (5.19).

The *Guidelines* further instruct that original fenestration should be preserved and repaired when possible and replaced accurately when repair is not possible (5.14, 5.15, 5.19, 5.20-5.21). The subject project includes the in-kind repair of existing windows and doors, with the installation of replacement windows on the rear wing's south elevation that will match the existing windows in material, lite-configuration, and dimension. On the west elevation, two salvaged panel doors will be installed within the existing door openings which access the rear porches on.

The proposed site improvements include; wood lattice screening around mechanical equipment, fence repair and gate installation, the addition of a driveway, walkway, and a new brick sidewalk. The mechanical equipment being screened by a 4' wood lattice fence behind the front plane of the home complies with both fence placement and mechanical equipment screening *Guidelines* (5.31 and 10.2). Additionally, the materials, height, and location of the proposed new sections of privacy fencing and gates comply with the *Guidelines* (10.2). The location and materials for the proposed driveway, located to the south of the dwelling, comply with the *Guidelines* directive to minimize the visibility of parking (10.7). The *Guidelines* also direct that the structure and the street should be visibly connected and that new sidewalks should be compatible with historic sidewalks in the area (10.5 and 10.6). The site plan proposal features a brick sidewalk to run parallel to N Jackson Street, with a brick walkway connecting the front porch steps to the sidewalk. This walkway visually connects the street. All proposed site improvements conform to the *Guidelines'* directives concerning fencing and other site considerations (5.31, 10.2, 10.5-10.7).

Site Location – 307 N Jackson Street



Site Photos – 307 N Jackson Street



1. View of east façade, looking W.



2. View of subject property, looking NW



3. View of subject property, looking SW.



4. View of subject property rear wing, looking west.



5. View of damaged clapboard siding on the north elevation.



6. View of missing clapboard siding on the north elevation of the rear wing.

Site Photos – 307 N Jackson Street



7. View of the west elevation and rear porch.



8. View of damaged clapboard siding on the west elevation.



9. View of south elevation of rear porch.



10. View of the south elevation.

Architectural Review Board Application

For Proposed Work in Mobile's Historic Districts

Date of Application: 5 July 2026_____ Date Received: _____

Address of Property 307 N. Jackson Street_____

Cost of Project (Required): \$458,000 Fee Paid: ☐ \$_____ Check #:_____

Name of Owner: Russell Perkins

Owner's Representative Name: Douglas Kearley

Business Name Douglas Burtu Kearley, Architect, Inc.

Address: _____ Mobile 36607

Email: _____ Telephone: _____

Other Contact Information: mobile _____

. Restore existing two story wood frame house inside and outside. Open up and restore existing rear two story porch. Install gravel driveway, brick sidewalk, mechanical equipment screen, repair existing wood fence adding new wood fenced and gates to match as shown

SEE NEXT PAGE

Does the work involve demolition of a structure? ☒ **No** ☐ **Yes**, attach a Demolition Application.

Does the proposed work involve signage? ☒ **No** ☐ **Yes**, attach a Sign Application.

Will the proposed work require the removal of any trees from the site? ☒ **No** ☐ **Yes**

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

- **Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,**
- **Also attach one set of photographs to the application.**
- **If available, electronic plans should also be submitted as a TIFF or PDF.**

A \$15 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following Checklist for requirements for specific work items to be performed. Refer to the Review Board Guidelines for assistance with appropriate treatment for structures in Mobile's Historic Districts. Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Unless an applicant asks the staff to review an application upon submittal, the application will not be examined until after the agenda deadline. Any incomplete applications may be held until all information is submitted.

Staff Reports: The MHDC Staff will review your application and generate reports that will be placed with the agenda on the web site one week before the meeting. These may be found at <http://www.mobilehd.org/meetings.php>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the MHDC.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

- **For demolition of existing structures, either historic or non-historic, submit a Demolition Application.**
- **For Signage Requests, submit a Sign Application.**
- **For removal of trees, contact the Urban Forester.**

SEE NEXT PAGE

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA Use the Following Checklist to Ensure a Complete Application
Complete each box that applies

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

1. One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:

- a. ☐ A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
- b. ☐ Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
- c. ☐ Square footage of the original building with square footage of all additions including the proposed addition;
- d. ☐ A drawing, with dimensions, of all affected exterior elevations;
- e. ☐ Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
- f. ☐ Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
- g. ☐ Paint samples and plan keyed to location of each color. (See below)

2. Photographs of the subject property to be worked on and surrounding buildings are required.

- ☐ Subject Property photographs
- ☐ Surrounding Buildings photographs

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

- 1. ☐ Elevation drawings
- 2. ☐ Floor plans
- 3. ☐ Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

- _____ Manufacturer
- _____ main body color
- _____ trim or decorative features

SEE NEXT PAGE

_____	porch deck
_____	accent areas: lattice, shutters, etc.
_____	other areas

SEE NEXT PAGE

FENCES, DRIVES AND GATES

1. _____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. _____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. _____ A description of the materials to be used.
4. _____ Paint samples, if the fence, wall or gate is to be painted.

The office of the MHDC can provide sample plans for garages, carports and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.

Place Additional Information Here

Mobile Historic Development Commission, 205 Government Plaza, Second Floor South Tower,
Mobile, Alabama

Mail to: MHDC, P.O. Box 1827, Mobile, AL 36633-1827

Phone: (251) 208-7281 www.mobilehd.org
arb@cityofmobile.org

FIXTURE SCHEDULE

MARK	DESCRIPTION	VOLT LAMP	BRAND
A	ROUND RECESSED LED FIXTURE**	120 9W LED	PROGRESS, COOPER OR EQUAL
B	ROUND RECESSED LED FIXTURE- DAMP LOCATION WITH GLASS SHIELD AND GASKET**	120 9W LED	PROGRESS, COOPER OR EQUAL
C	54" 4 BLADE CEILING FAN	NO LIGHT KIT	C-1 LIGHT KIT
C-1			
D	SQUARE RECESSED LED FIXTURE	120 9W LED	PROGRESS, COOPER OR EQUAL
E	EXHAUST FAN *		BROAN # AE80BW/ WALL OR ROOF CAP AND DRAFT DAMPER - WHITE
F	INCANDESCENT 2 LAMP FLOOD LAMP WITH SHADES/SHIELDS	120 2-150W PAR	PROGRESS #P5203-30 WHITE OR BRONZE
G	WALL FIXTURE BATHROOM	AS SELECTED	PROVIDE \$200.00 ALLOWANCE
H	KEYLESS PORCELAIN SOCKET	120 1 75W A-19	
J	CHANDELIER	120 40W CANDELABRA	PROVIDE \$400.00 ALLOWANCE
K	1 X 4 SURFACE MOUNTED FLOURESCENT	120 (2) F40T12/ES 34W	PROGRESS FWL 240-ESB (WRAP)
L	ROUND RECESSED LED OR INCANDESCENT WALL WASHER FIXTURE**	120 1-75W R30 OR 9W LED	PROGRESS TPR75ICX WITH PINHOLE INSERT
M	PENDANT FIXTURE	120 9W LED	PROVIDE \$200.00 ALLOWANCE
N	EXTERIOR WALL FIXTURE	120 9W LED	PROVIDE \$400.00 ALLOWANCE
O	24" UNDERCOUNTER LED LIGHT STRIP / PLUG FIXTURE	120 10W LED	24 Inch LED Undercabinet Light HUXE ITEM#: SHH2478053

* Where shown on plans, mount exhaust fan vertically in wall, 18" AFF adjacent to toilet. Provide wall cap at exterior.
**Provide sloped ceiling adapter where required.

Note: All regular duplex wall receptacles to be installed horizontally in base board, unless a mounting height is noted on the drawings.

All receptacles to be GFI.

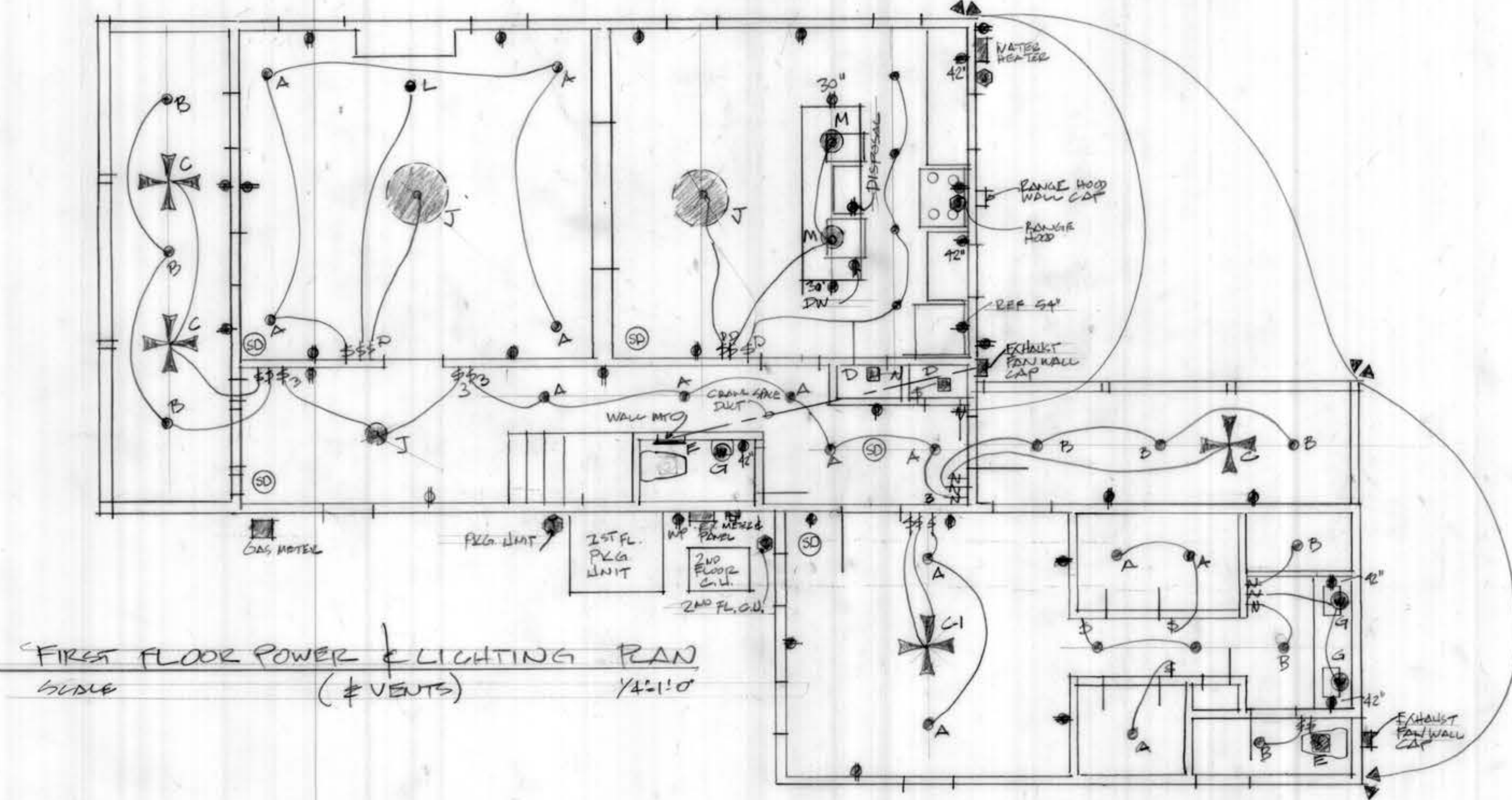
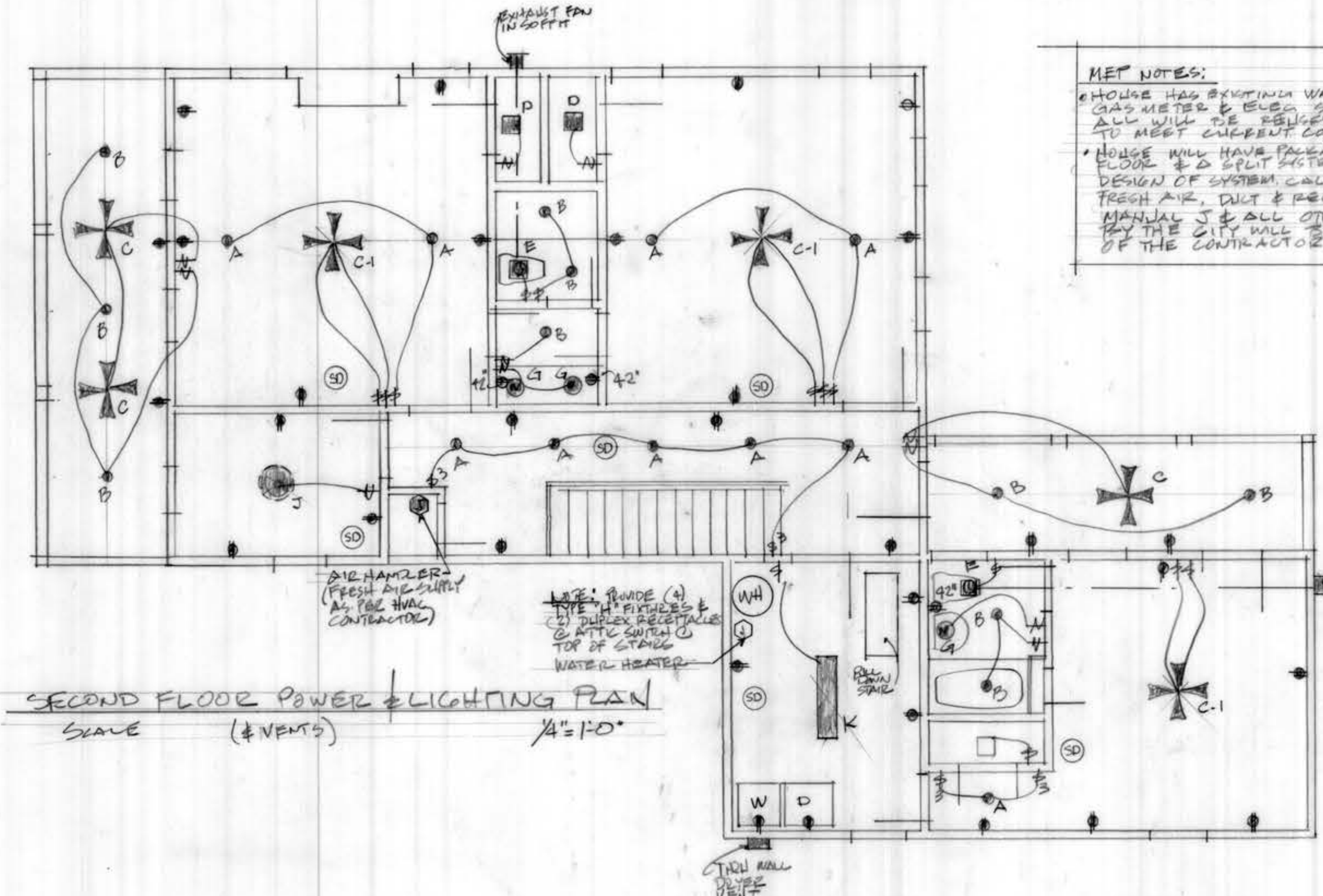
SYMBOL LEGEND

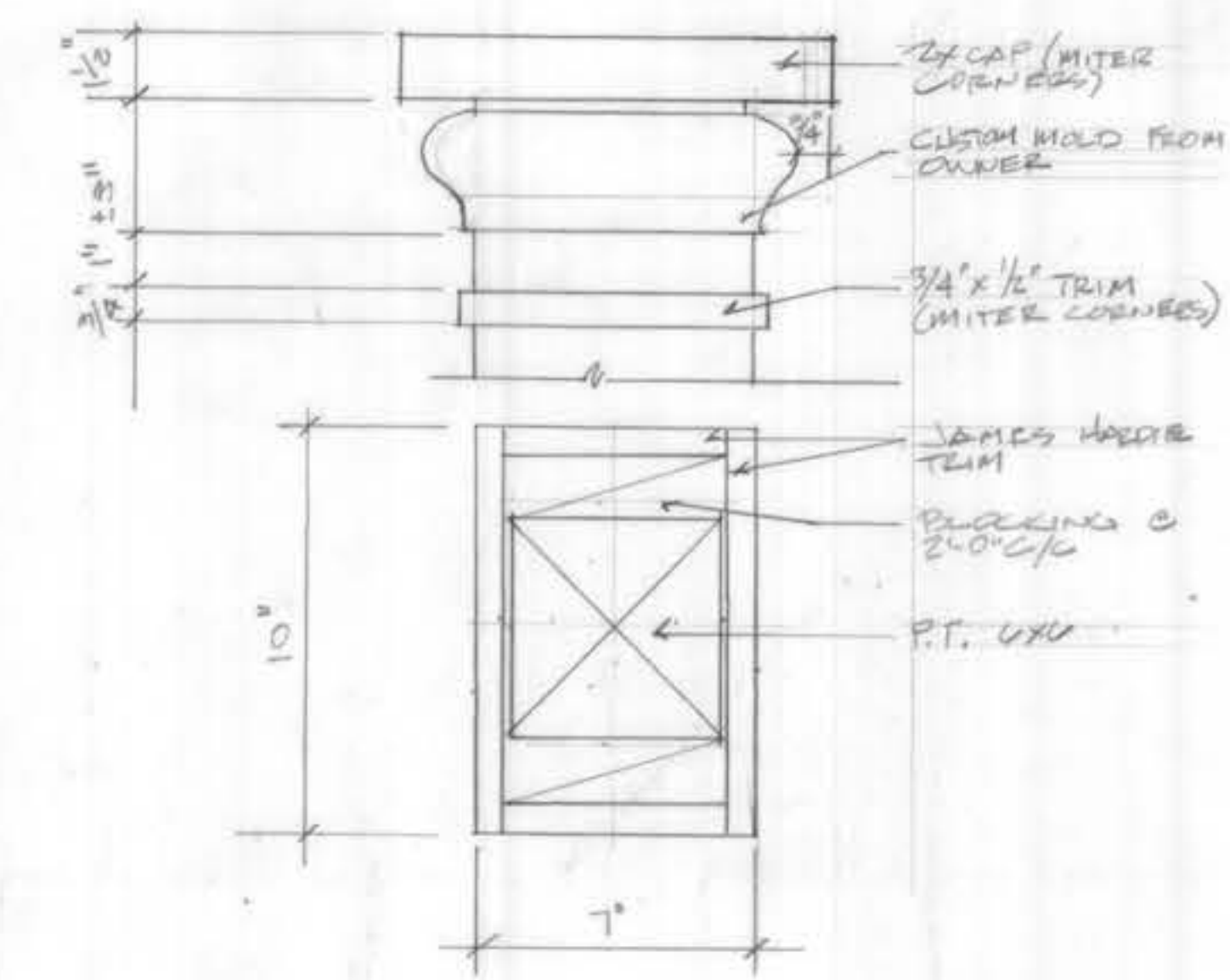
- ⊕ DUPLEX GFI RECEPTACLE
- ⊕ QUAD GFI RECEPTACLE
- ⊕ WATERPROOF GFI RECEPTACLE
- ⊕ DRYER GFI RECEPTACLE
- ⊕ FLOOR RECEPTACLE GFI (QUAD OR DUPLEX)
- ⊕ SINGLE POLE SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ DIMMER SWITCH (LUTRON, ONLY)
- ⊕ TELEPHONE
- ⊕ SPEAKER
- ⊕ SMOKE/ RADON/ CARBON DIOXIDE DETECTOR
- ⊕ J-BOX
- ⊕ CABLE TV CONNECTION
- ⊕ UNDER CABINET PLUG STRIP
- ⊕ UNDER CABINET LIGHT STRIP

NOTES:
ALL REGULAR DUPLEX WALL RECEPTACLES TO BE MOUNTED HORIZONTALLY IN BASEBOARD
ALL RECEPTACLES TO BE GROUND FAULT INTERRUPT (GFI)
RECEPTACLES FOR UNDERCOUNTER APPLIANCES (DISHWASHER, ICE MAKER, DISPOSAL, RANGES, ETC. TO BE PLACED TO THE SIDE OF THE APPLIANCE FOR EASY ACCESSIBILITY
ELECTRICAL SERVICE TO HAVE MAIN BREAKER DISCONNECT AND POWER SURGE PROTECTOR AS PER CURRENT ADOPTED CODE.
RANGE MUST BE GFI PROTECTED IF WITHIN 6 FT. OF SINK
RECEPTACLE FOR WASHER AND DRYER MUST BE GFI PROTECTED
ALL RECEPTACLES IN BATHROOMS MUST BE GFI PROTECTED

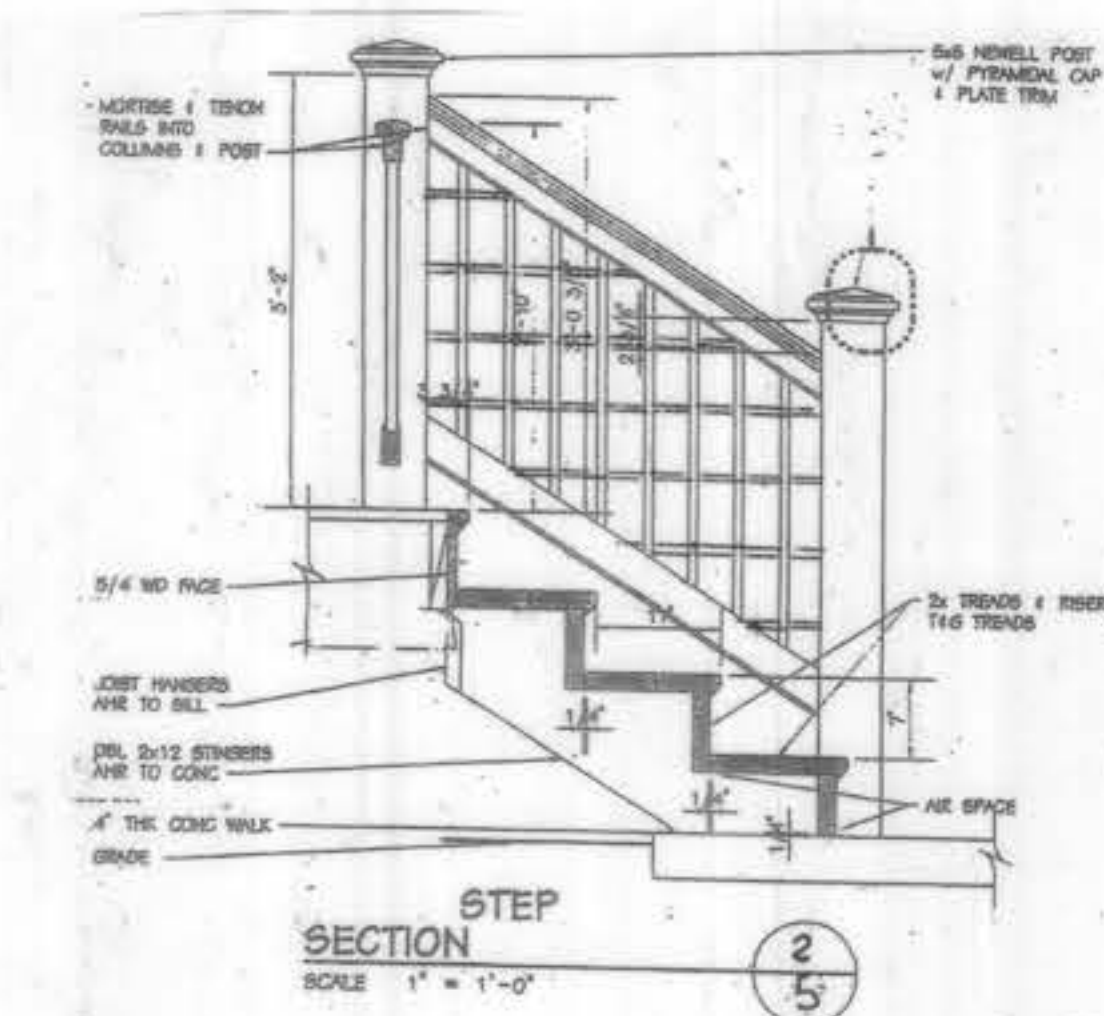
Contractor and his Mechanical, Electrical and Plumbing contractors will be responsible that all new work will comply with all applicable current codes required by the City of Mobile

MEP NOTES:
HOUSE HAS EXISTING WATER METER, SEWER TAP GAS METER & ELEC SERVICE ENTERANCE. ALL WILL BE RELOCATED AS REQ'D TO MEET CURRENT CODES & REQUIREMENTS
HOUSE WILL HAVE PACKAGED UNIT FOR FIRST FLOOR & A SPLIT SYSTEM FOR SECOND FLOOR
DESIGN OF SYSTEM, CALCULATIONS FOR SIZE, FRESH AIR, DUCT & REGISTERS & RETURN AIR MANUAL J & ALL OTHER SUBMITTALS REQUIRED BY THE CITY WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR & MECHANICAL SUBCONTRACTOR





1
5 REAR COLUMN CAPITAL
SCALE 3\"/>



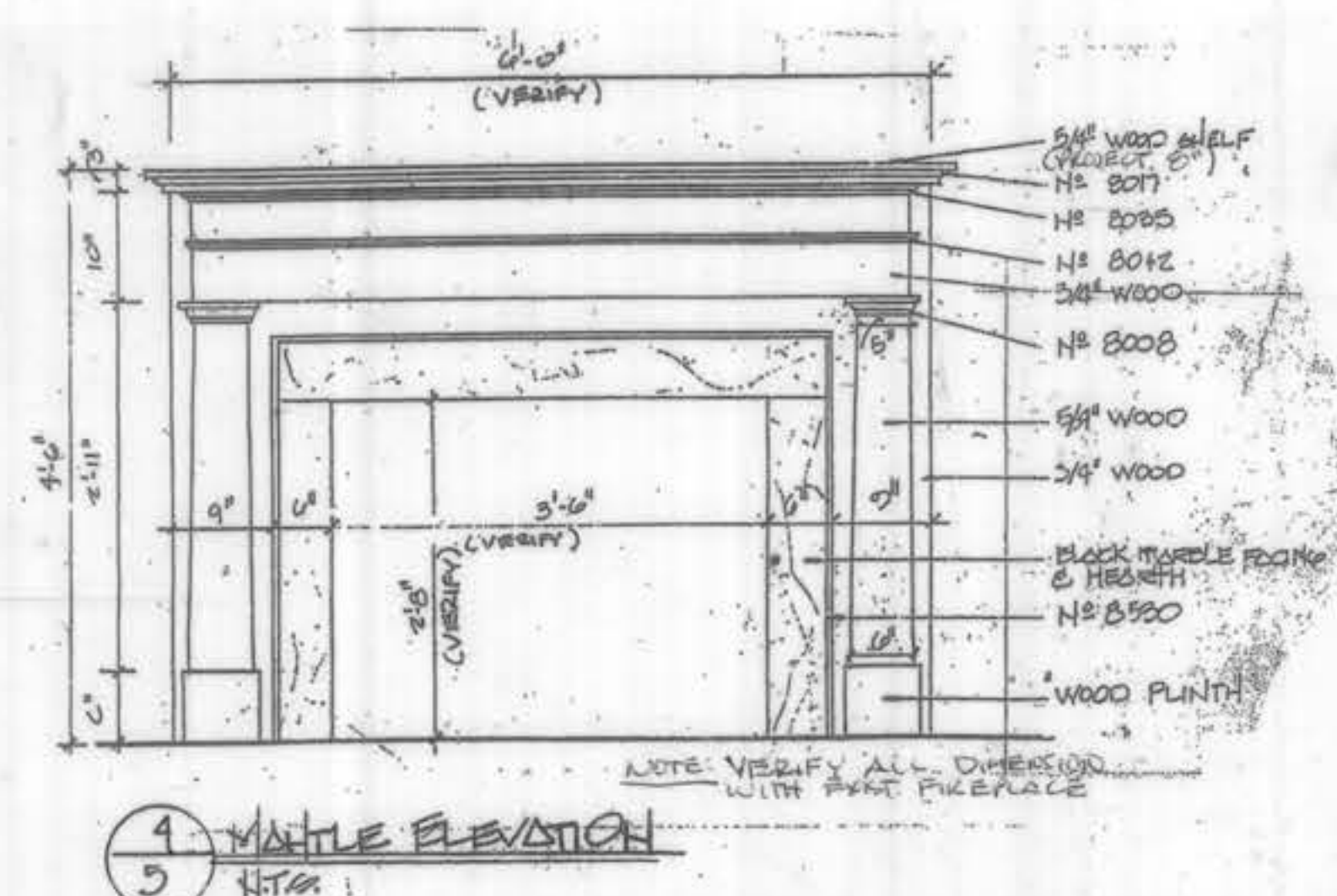
SECTION STEP
SCALE 1\"/>



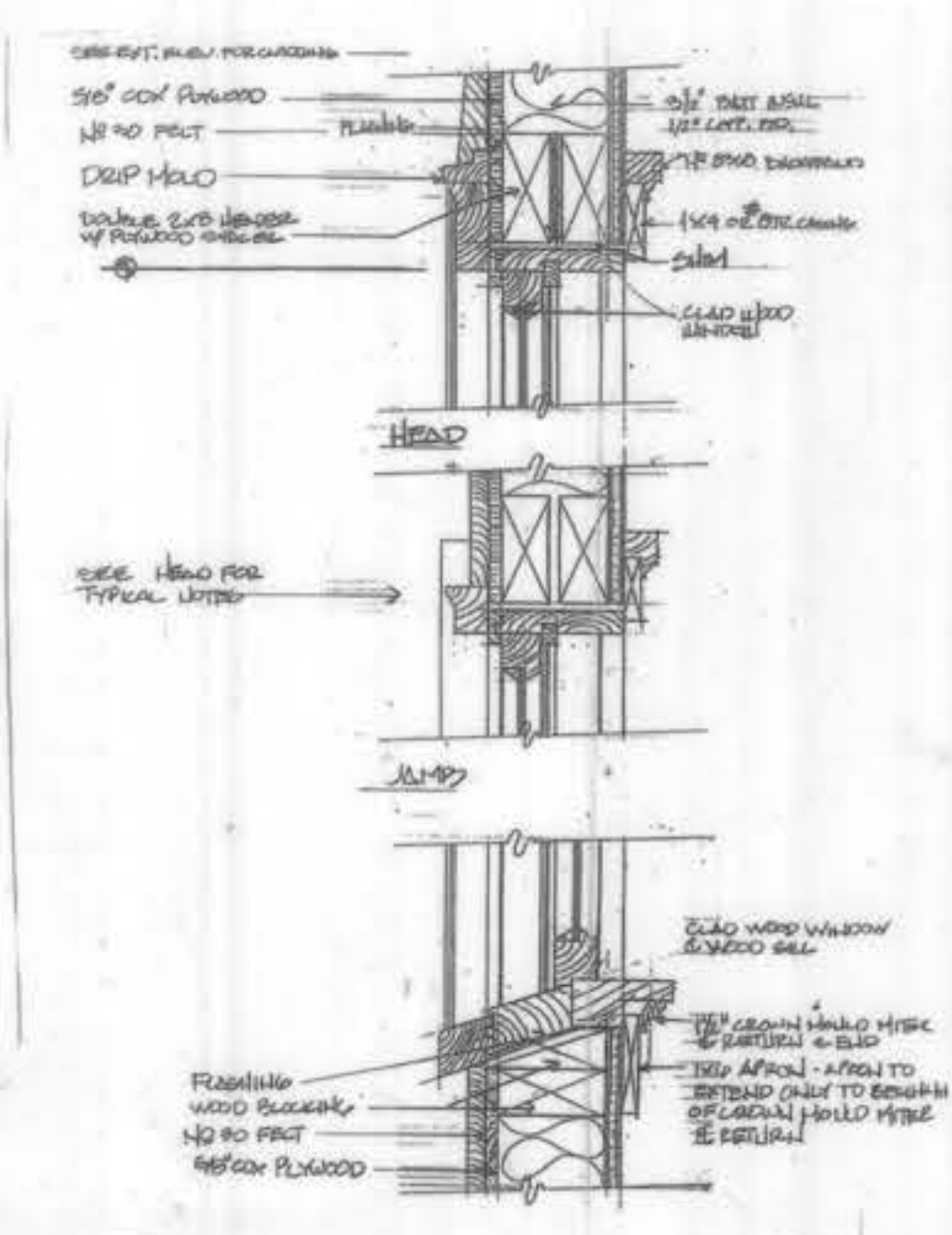
WEST ELEVATION
SCALE 1/4\"/>

City of Mobile Adopted Codes effective January 7, 2023

- 2021 IMC Local Amendment Effective January 7, 2023 Amendment
- 2021 IPC Local Amendment Effective January 7, 2023
- 2021 IFGC Local Amendment Effective January 7, 2023
- 2021 IFGC Fee Schedule Local Amendment Effective January 7, 2023
- 2020 NEC Local Amendment Effective January 7, 2023
- 2021 IRC Local Amendment Effective January 7, 2023
- 2021 Coastal Construction Code Supplement Effective January 7, 2023
- 2021 IEBC Local Amendment Effective January 7, 2023
- 2021 IBC Local Amendment Effective January 7, 2023



4 WINDOW ELEVATION
SCALE 1/4\"/>



3 WINDOW DETAILS
SCALE N.T.S.

RENOVATION OF
307 N. JACKSON STREET FOR
RUSSELL AND TIFFANY PERKINS
MOBILE, ALABAMA 36603



1. JULY 2026

5066



1. JULY. 2024



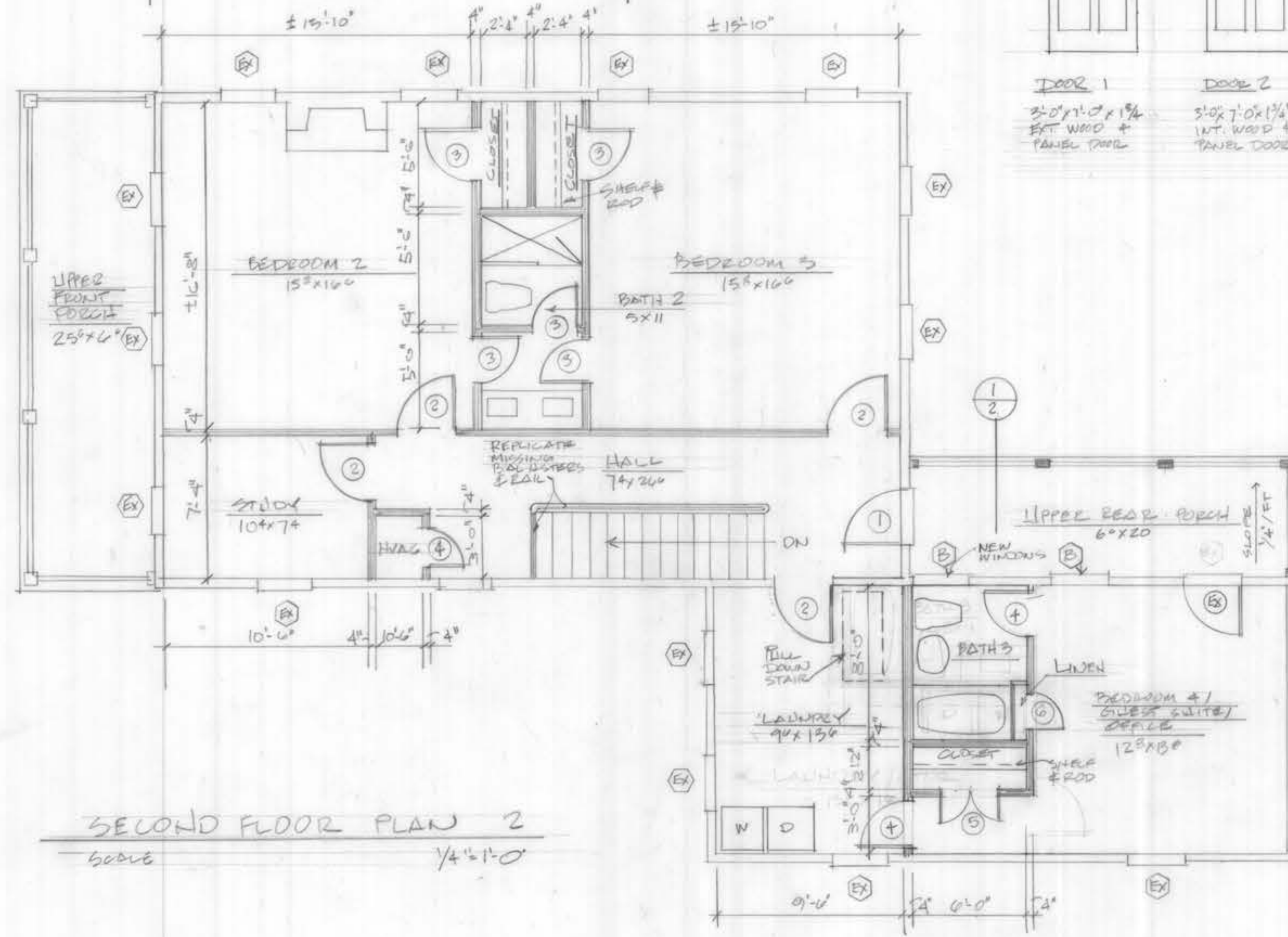
NORTH ELEVATION
SCALE 1/4"=1'-0"



EAST ELEVATION
SCALE 1/4"=1'-0"

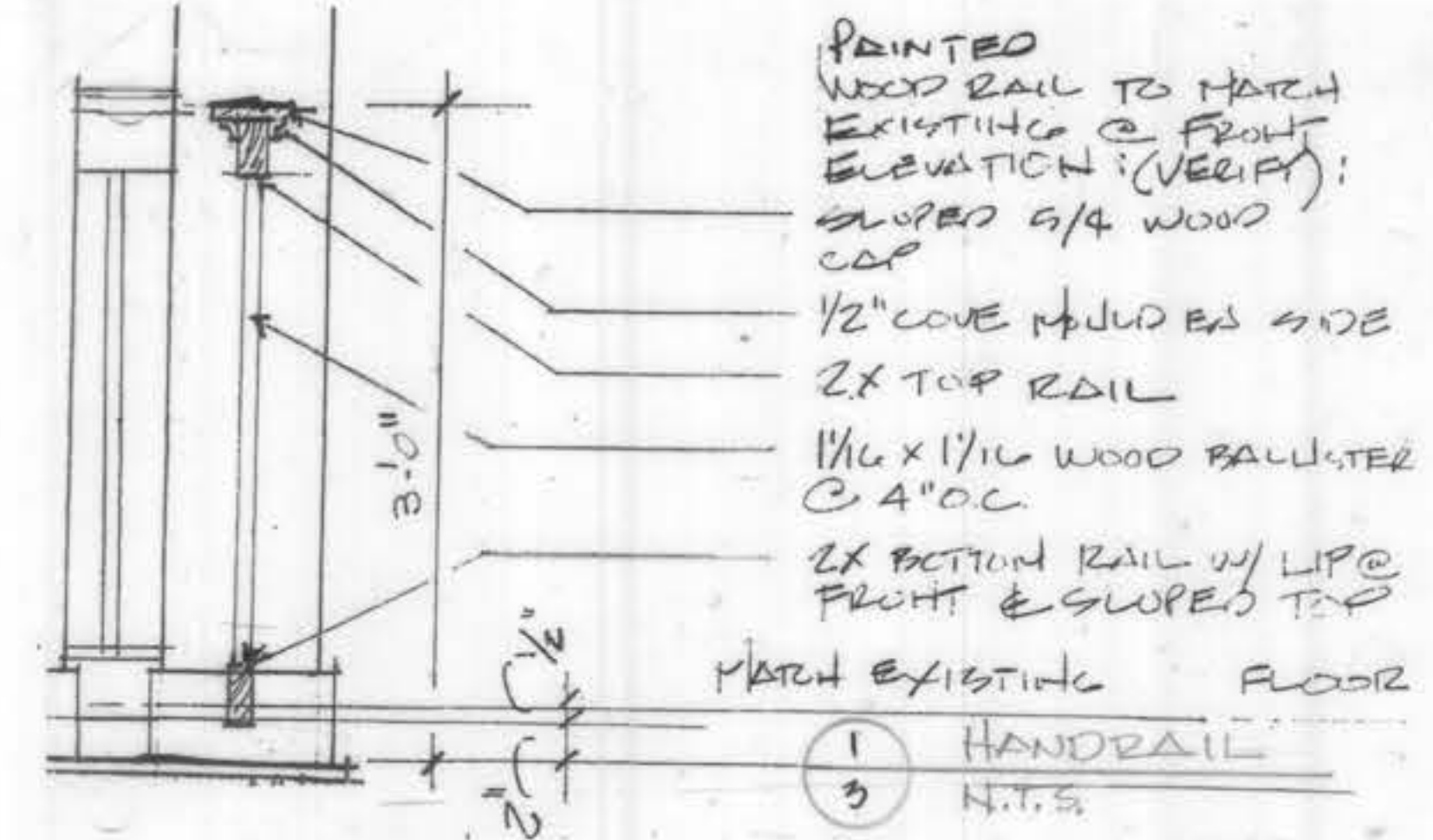
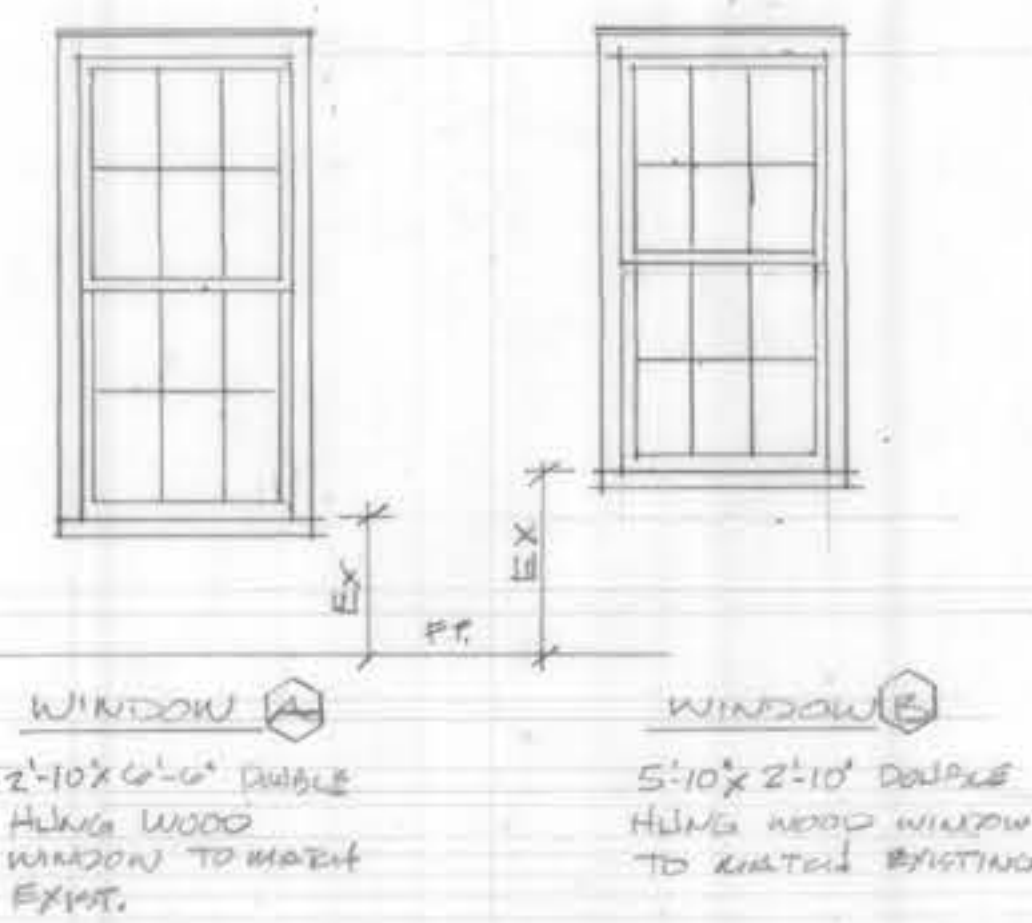
INSULATION NOTE FOR BOTH FLOORS & ATTIC

- ALL EXTERIOR WALLS TO RECEIVE MINIMUM 3 1/2" FIBERGLASS INSULATION
- ABOVE SECOND FLOOR CEILING INSTALL MINIMUM OF 12" OF FIBERGLASS OR BLOWN IN INSULATION



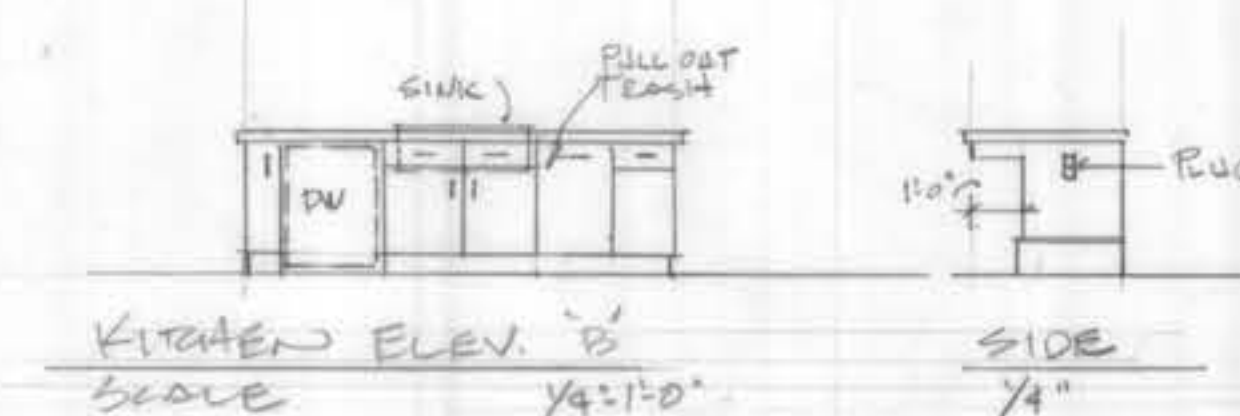
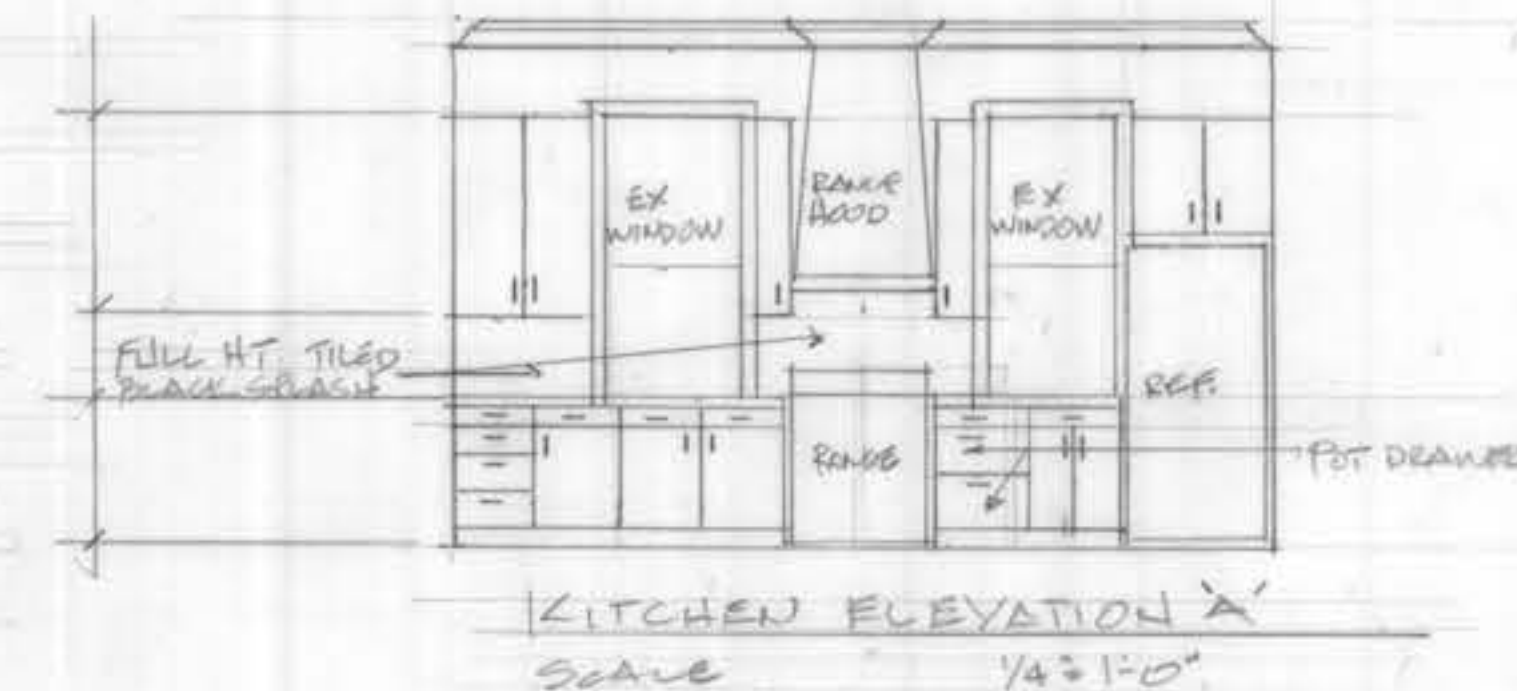
DOOR 1	DOOR 2	DOOR 3	DOOR 4	DOOR 5	DOOR 6
3'-0" x 7'-0" x 1 1/4" EXT. WOOD + PANEL DOOR	3'-0" x 7'-0" x 1 1/4" INT. WOOD + PANEL DOOR	2'-4" x 7'-0" x 1 1/4" SEE DOOR 2	2'-0" x 7'-0" x 1 1/4" SEE DOOR 2	PANEL 1'-0" x 7'-0" x 1 1/4" 2 PANEL INT. WOOD DOOR	1'-0" x 7'-0" x 1 1/4" 2 PANEL INT. LAMINATE DOOR

DOOR & WINDOW SCHEDULE
SCALE 3/8" = 1'-0"



2ND FLOOR ROOM FINISH SCHEDULE

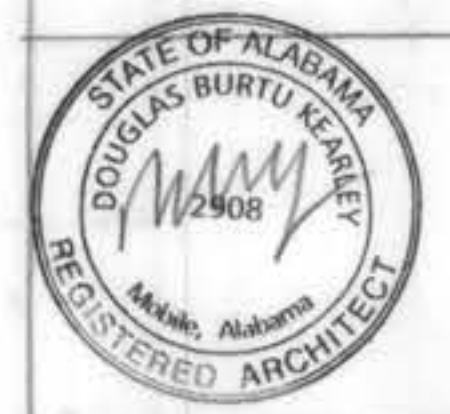
NAME	FLOOR	BASE	WALLS	CEILING	CAB. HT.	NO.	REMARKS
UPPER FRONT PORCH	EX # NEW WOOD FLOOR FLOOR - PAINT	-	EX/NEW SIDING - EXIST. SAND PRIME PAINT	EX WOOD - REPAIR PRIME, PAINT	10'5"		
UPPER REAR PORCH	NEW WOOD FLOOR FLOOR PRIME PRIME	-	"	NEW PRIME PAINT - PRIME PAINT	"		
STUDY	NEW # EXIST. FINE SAND, STAIN, SEAL	EX WOOD/NEW PAINT	5/8" GYP. BO. FINISH PRIME, PAINT	5/8" GYP. BO. FINISH PRIME, PAINT	"	YES	
HALL	"	"	"	"	"	YES	
BEDROOM 2	"	"	"	"	"	YES	
BEDROOM 3	"	"	"	"	"	YES	
LAUNDRY	"	"	"	"	"		
BEDROOM 4	"	"	"	"	"		
BATH 2	TILE / STONE	"	"	"	"		M.E. GYP. B.O.
BATH 3	"	"	"	"	"		"



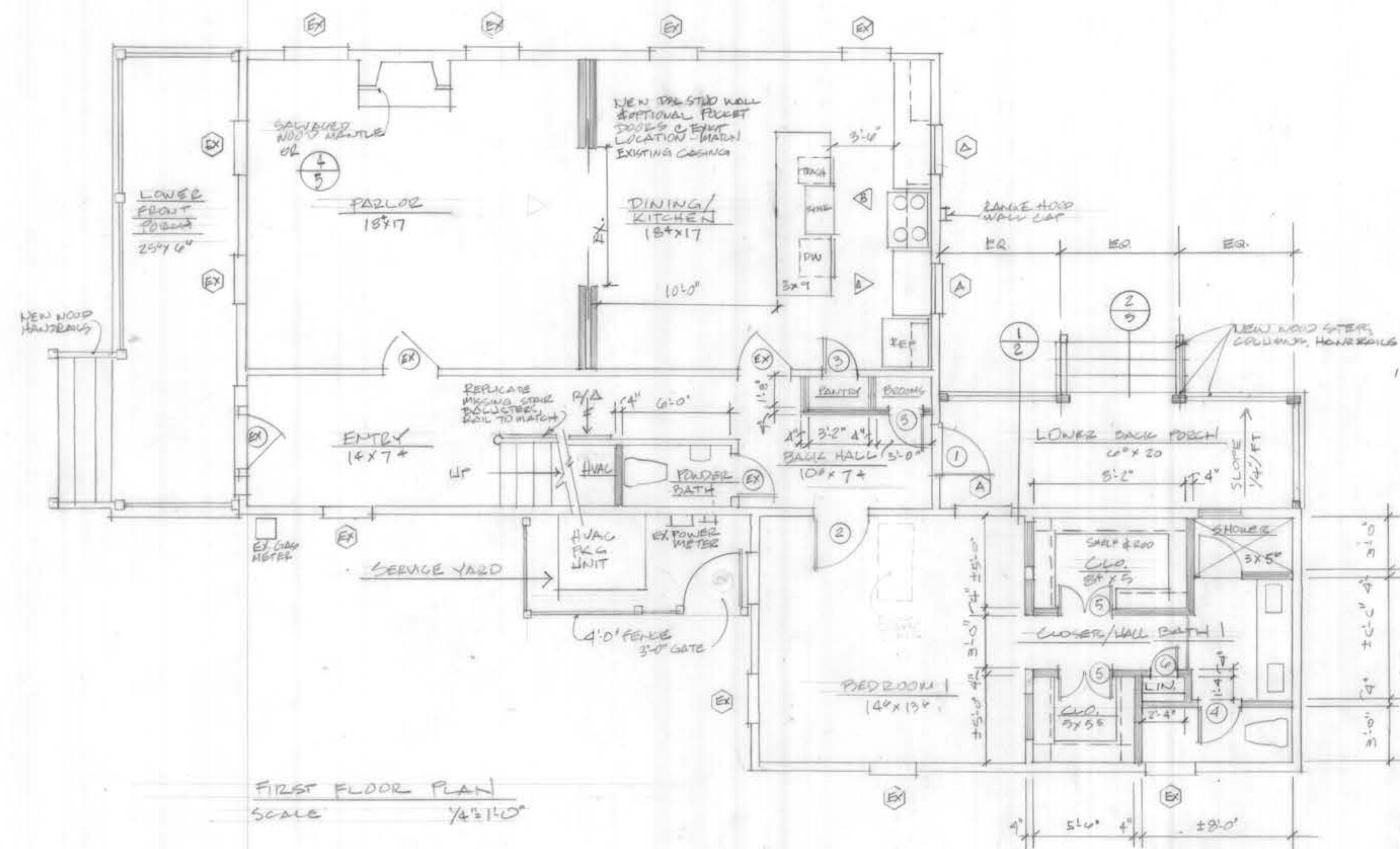
RENOVATION OF
307 N. JACKSON STREET FOR
RUSSELL AND TIFFANY PERKINS
MOBILE, ALABAMA 36603



5. JUNE 2026
1. JULY 2026



5. JULY 2021
1. JULY 2022



ROOM FINISH SCHEDULE						
NAME	FLOOR	BASE	WALLS	CEILING	DOOR HT	REMARKS
LOWER FRONT PORCH	NEW EXISTING WOOD, SAND, PRIME PAINT	-	EX/NEW CLAP, DOORS SCRAPE, SAND, PRIME PTD	EX BEADED BOARD, SAND, PRIME PAINT	6'-11"	
LOWER REAR PORCH	"	-	"	NEW " " "	"	
ENTRY / BACK HALL	EX & NEW PINE - SAND, STAIN, SEAL	EX/NEW TO MATCH PTD	EX/NEW BD. - FINISH PRIME, PAINT	5/8" GYP. BD. - FINISH PRIME, PAINT	"	YES
PARLOR	"	"	"	"	"	YES
KITCHEN	"	"	"	"	"	YES
POWDER BATH	TILE / STONE	"	"	"	"	M.R. GYP. BD.
BEDROOM 1	EX & NEW PINE - SAND, STAIN, SEAL	"	"	"	"	YES
CLOSETS / HALL	"	"	"	"	"	
BATH 1	"	"	"	"	"	M.R. GYP. BD.

CR3081
13/16" x 7/16"
E.F. SAN JUAN
850.722.4550

