



Agenda Item # 1

Application 2026-42-CA

DETAILS

Location:

205 N Conception Street

Summary of Request:

Restoration to existing two-story wood frame dwelling.

Applicant:

Eric Droblyen

Property Owner:

ECD State Street Properties, LLC

Historic District:

DeTonti Square

Classification:

Contributing

Summary of Analysis:

- The proposed in-kind repair or replacement of damaged materials of the subject property are compliant with the *Guidelines*.
- The location of the fencing and mechanical equipment is compliant with the *Guidelines*.
- The CRC and the Properties Committee of the MHDC have reviewed and approved the subject project.

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PROPERTY AND APPLICATION HISTORY

DeTonti Square Historic District was initially listed in the National Register in 1972 under Criterion A for social and urban planning significance and Criterion C for significant architecture. The district was one of two historic districts created by a municipal ordinance in 1962 in an effort to halt the rapid demolition of historic buildings near the city's central business district. The district, named for the French explorer Henri DeTonti, contains a few structures surviving from the 1830s, but the majority were built in the 1850s as residences of the wealthy and influential cotton factors, merchants, and planters.

The structure at 205 N Conception, known also as Beal Cottage, is a frame one-story raised cottage with a rear brick projection consisting of a two-story south facing gallery. Originally constructed c. 1836, the cottage expresses the Greek Revival style with a temple front façade featuring a full-width front porch consisting of four fluted doric columns supporting a pedimented gable. The building has generally retained its original form. In 1993, the rear two-story gallery was enclosed with white anodized metal framing and glass.

According to Historic Development vertical files, this property has never appeared before the Architectural Review Board.

SCOPE OF WORK

1. Remove non-original aluminum storefront enclosing the rear two-story gallery.
2. Remove and rebuild existing rear two-story gallery to match existing.
3. Construct a new wood stair and switchback ramp to allow for ADA access to the building.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

- 5.6 Use original materials to replace damaged materials on primary surfaces where possible.
 - Use original materials to replace damaged building materials on a primary façade if possible. If the original material is wood clapboard, for example, then the replacement material should be a material that matches the original in finish, size and the amount of exposed lap. If the original material is not available from the site, use a replacement material that is visually comparable with the original material.
 - Replace only the amount of material required. If a few boards are damaged beyond repair, for example, then only they should be replaced, rather than the entire wall.
 - Do not replace building materials on the primary façade, such as wood siding and masonry, with alternative or imitation materials unless it cannot be avoided.
 - Wholesale replacement of exterior finishes is generally not allowed.
- 5.7 When replacing materials on a non-primary façade or elevation, match the original material in composition, scale and finish.
 - Use original materials to replace damaged materials on a non-primary façade when possible.
 - The ARB will consider the use of green building materials, such as those made with renewable and local resources to replace damaged materials on a nonprimary façade if they do not impact the integrity of the building or its key features.
 - Use alternative or imitation materials that match the style and detail of the original material to replace damaged non-primary building materials.

- Replace exterior finishes to match original in profile, dimension and materials.
- 5.19 Where repair is impossible, replace details and ornamentation accurately.
 - When replacing historic details, match the original in profile, dimension, and material.
 - A substitute material may be considered if it appears similar in character and finish to the original. A measured drawing may be required in these instances to recreate missing historic details from photographs.
 - Do not apply architectural details that were not part of the original structure. For example, decorative mill work should not be added to a building if it was not an original feature. Doing so would convey a false history.
- 6.5 Repair a porch in a way that maintains the original character.
- 6.6 If replacement is required, design it to reflect the time period of the historic structure.
 - Replace a historic porch element to match the original.
 - Use replacement materials and elements that are appropriate to the style, texture, finish, composition and proportion of the historic structure.
 - Where an original porch is missing entirely, base a replacement porch on physical or photographic evidence. If no evidence exists, draw from similar structures in the neighborhood.
 - Match the balustrade of a historic porch to the design and materials of the porch.
 - When reconstructing a porch, pay particular attention to matching the handrails, lower rails, balusters, decking, posts/columns, proportions and decorative details.
 - Do not completely replace an entire porch or element unless absolutely necessary. Only replace the element or portion of an element that requires replacement.
 - Do not use cast-iron columns or railing where no evidence exists that these elements were used historically.
 - Do not use a brick base for a wood column (exception is Craftsman styles).
 - Do not use a railing that is too elaborate for the building (of a different style).
 - Do not relocate an original front stairway or steps.

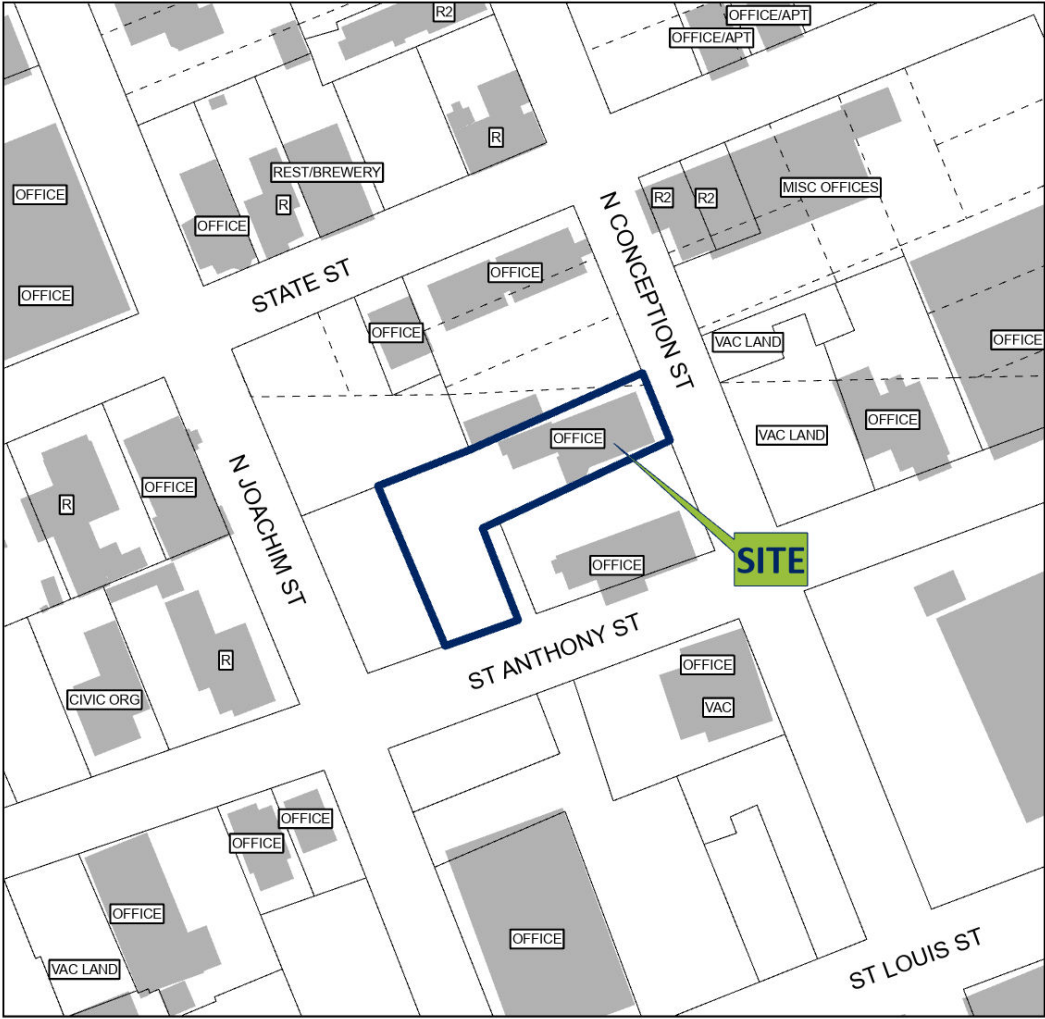
STAFF ANALYSIS

The property under review is a contributing property to the DeTonti Square Historic District. The subject application proposes comprehensive exterior repairs and alterations along all four elevation. Most proposed work is in-kind and can be approved at the administrative level. The repairs and alterations discussed in this report require ARB consideration and involve the removal and reconstruction of the rear two-story gallery, without the inclusion of the later-added aluminum and glass enclosure, and the construction of a new wood stair and ramp adjacent to the rear gallery.

The *Design Review Guidelines* prioritize preservation when discussing renovations to existing structures. They further stipulate that when repair is not possible, all replacement materials should match the original in composition, scale, and finish; and all replacement stylistic details should accurately match existing. (5.6, 5.7, 5.19). Likewise, for the replacement of porches specifically, the *Guidelines* refer to matching the materials, composition, proportions, stylistic elements, and decorative details. The subject proposal complies with this directive, apart from slight modifications of railing heights to meet current code. It should be considered that the gallery is located on a non-primary elevation, and the alterations are meant to create a more accessible entrance to the building.

The new wood stair and switchback ramp would be constructed from compliant materials (wood) and would be designed and placed to minimize impact to the architectural integrity of the original structure.

Site Location – 205 N Conception Street

ARCHITECTURAL REVIEW BOARD VICINITY MAP	
	
APPLICATION NUMBER <u>1</u>	DATE <u>8/19/2026</u>
APPLICANT <u>Eric Droblyen on behalf of ECD State Street Properties, LLC</u>	
PROJECT <u>Renovate historic dwelling</u>	
 NTS	

Site Photos – 205 N Conception Street



1. View of east façade, looking W.



2. View of subject property, looking NW



3. View of subject property, looking SW



4. View of subject property rear wing, looking west



5. View of rear elevation, looking E



6. View of the west elevation and rear gallery

Site Photos – 205 N Conception Street



7. View of west elevation and rear gallery



8. Detail of rear gallery



9. Detail of aluminum storefront



City of Mobile • Historic Development

Architectural Review Board Application

Date of Application

205 N. Conception

Date Received

Address of Property

Does any party hold a façade easement on this property? ☐ No ☐ Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

Cost of Project (Required)

Fee Paid: ☐ \$ _____ Check # _____

Owner Name

Phone

Email

Address

Zip Code

If Owner is a legal entity such as a corporation, limited liability company, limited liability, partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.

Owner's Representative Name

Phone

Email

Address

Zip Code

Describe the Proposed Work:

Renovations to a single-story existing 1830 frame building with a later-period

2-story brick addition off the rear side. Exterior renovations to include new asphalt architectural shingles

in-kind woodwork and siding repair, removal of a non-original aluminum storefront enclosing a rear two-story gallery as well as

the gallery itself due to its deteriorating condition. the roof structure above is to remain and be supported during removal. A new two-story wood framed painted gallery

will be constructed using in-kind detailing, albeit modifying slightly for current code (eg railing heights). A new wood stair and switchback ramp will be constructed to allow for ADA compliant access to the different levels.

A new aluminum and glass storefront will separate the original home from the later addition and serve as a distinct separating element. No site work is proposed outside of the immediate footprint.

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: www.BuildMobile.org | historicdevelopment@cityofmobile.org | 251.208.7281

Visit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

Revised August 2023

Does the work involve demolition of a structure? ☒ **No** ☐ **Yes** Please fill out demolition portion of application.

Does the proposed work involve signage? ☒ **No** ☐ **Yes**

Will the proposed work require the removal of any trees from the site? ☒ **No** ☐ **Yes**

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

REQUIRED PLANS: If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Use the Following Checklist to Ensure a Complete Application
Complete each box that applies:

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

- 1. One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. ☒ A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. ☒ Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. ☒ Square footage of the original building with square footage of all additions including the proposed addition;
 - d. ☒ A drawing, with dimensions, of all affected exterior elevations;
 - e. ☒ Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. ☒ Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. ☒ Paint samples and plan keyed to location of each color. (See below)
- 2. Photographs of the subject property to be worked on and surrounding buildings are required.**
☒ Subject Property photographs
☐ Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. ☐ Elevation drawings with dimensions and material details
2. ☐ Floor plans
3. ☐ Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

_____ Manufacturer
_____ main body color
_____ trim or decorative features
_____ porch deck
_____ accent areas: lattice, shutters, etc.
_____ other areas

FENCES, DRIVES AND GATES

1. ____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. ____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. ____ A description of the materials to be used.
4. ____ Paint samples, if the fence, wall or gate is to be painted.

SIGNAGE

Width of sign ____ feet ____ inches

Height of sign: ____ feet ____ inches

Single Face ____ Double Face ____

Height (from ground level to top of sign) ____ feet ____ inches

Height (from ground level to bottom of sign) ____ feet ____ inches

Total Square Footage of Signage: _____ square feet. (Both sides if double-faced)

General Description

Type of Sign: ☐ Monument ☐ Free Standing ☐ Projecting ☐ Wall ☐ Banner ☐ Sandwich Board

How will sign be mounted:

Sign Materials (sample materials may be requested by the Review

Board): _____

Describe type of lighting to be used: _____

Linear front footage of principle building: ____ feet ____ inches.

Square footage of Existing Signage: ____ feet ____ inches N/A ____

Include in Application:

____ Scaled colored renderings of the requested sign; or photographs with dimensions

____ Photographs of the building

____ A site plan or building elevation showing the location of the proposed signage For specific requirements, refer to *Sign Design Guidelines for Mobile's Historic District and Government Street*.

DEMOLITION APPLICATION

Purchase Date: _____ Purchase Price: _____

Current appraised value of the property? _____ (N/A if Not Available)

Was the property occupied at time of purchase? _____ What was the property's condition? _____

What alternatives to demolition have you considered for this property?

Have you listed the property for sale or lease since your purchase? ☐ Yes ☐ No

If "Yes", what was your asking price? _____

How many offers did you receive? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have construction plans ready to complete the replacement project? ☐ Yes ☐ No

If so, how much have you expended on the plans? _____

What are the dates of these expenditures? _____

In order to determine your ability to complete the replacement project, do you have the following:

Performance Bond ☐ Yes ☐ No

Letter of Credit ☐ Yes ☐ No

Trust for completion of improvements ☐ Yes ☐ No

Other evidence of financial ability ☐ Yes ☐ No

Letter of commitment from a financial institution ☐ Yes ☐ No

"In no event shall the Board entertain any application for the demolition or relocation of any Historic Property unless the applicant also presents at the same time the post-demolition or post-relocation plans for the site."

Ordinance #44-084

An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.

Signature

Date

205 N. CONCEPTION ST

BUILDING RENOVATIONS

MOBILE, ALABAMA

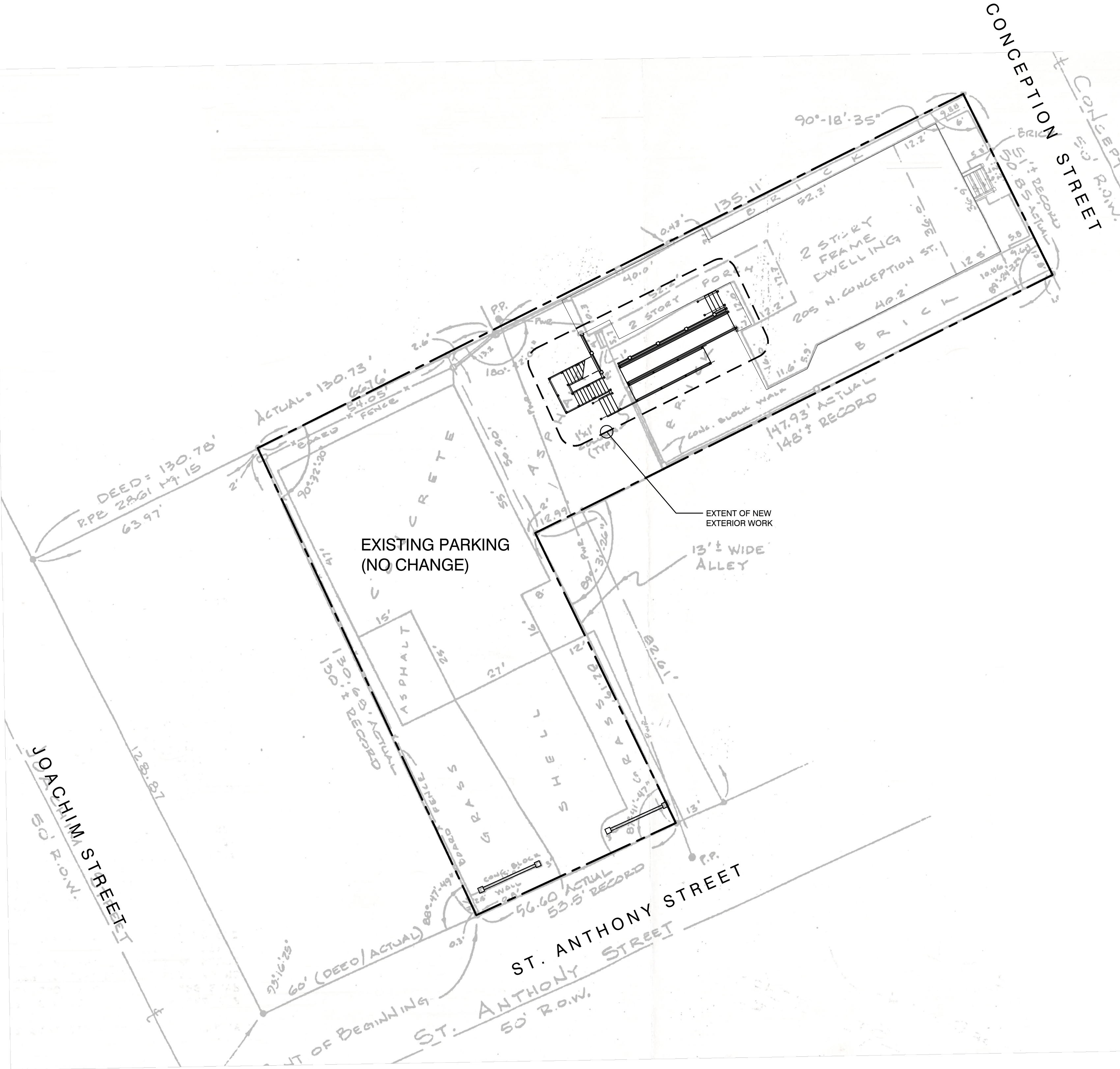
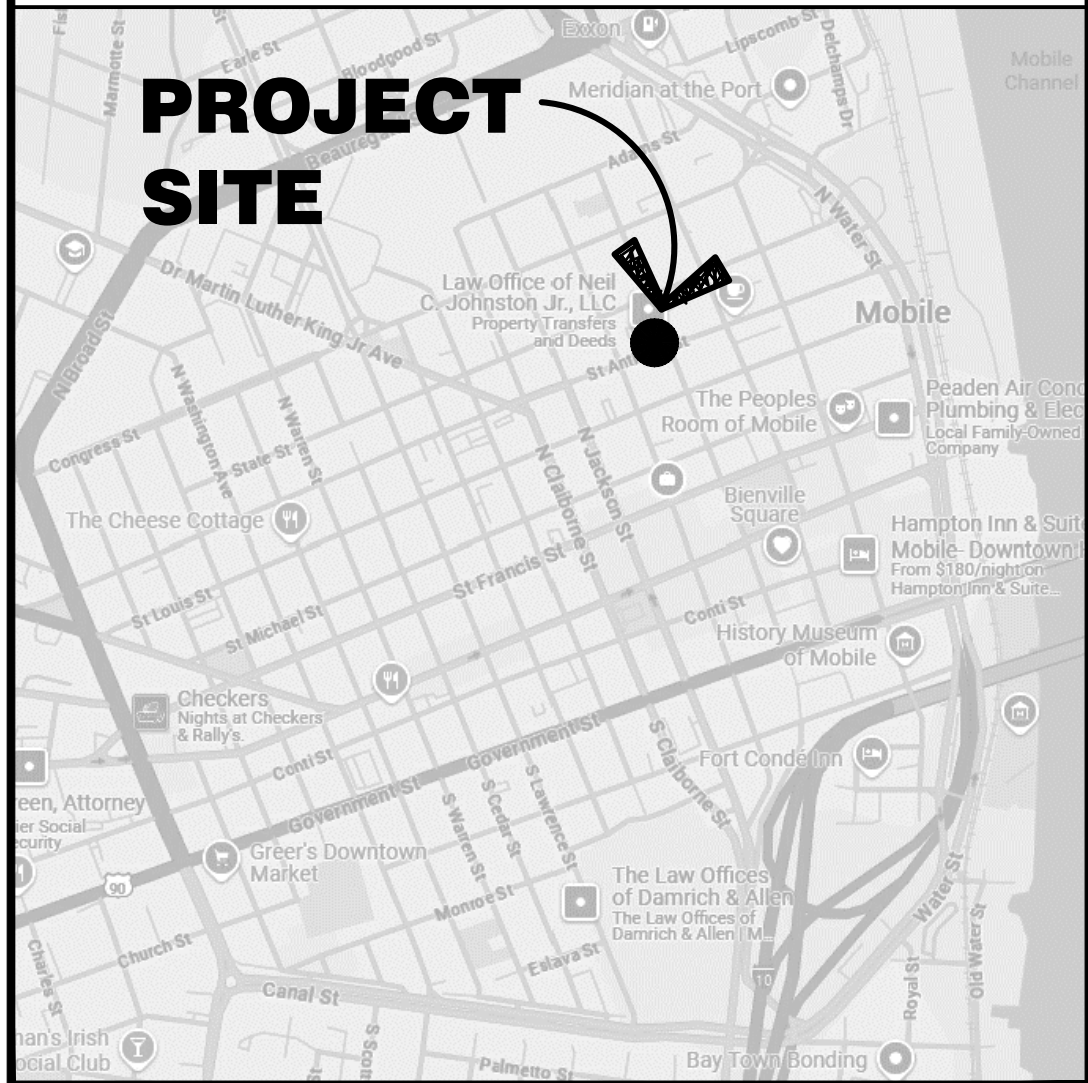
GENERAL NOTES

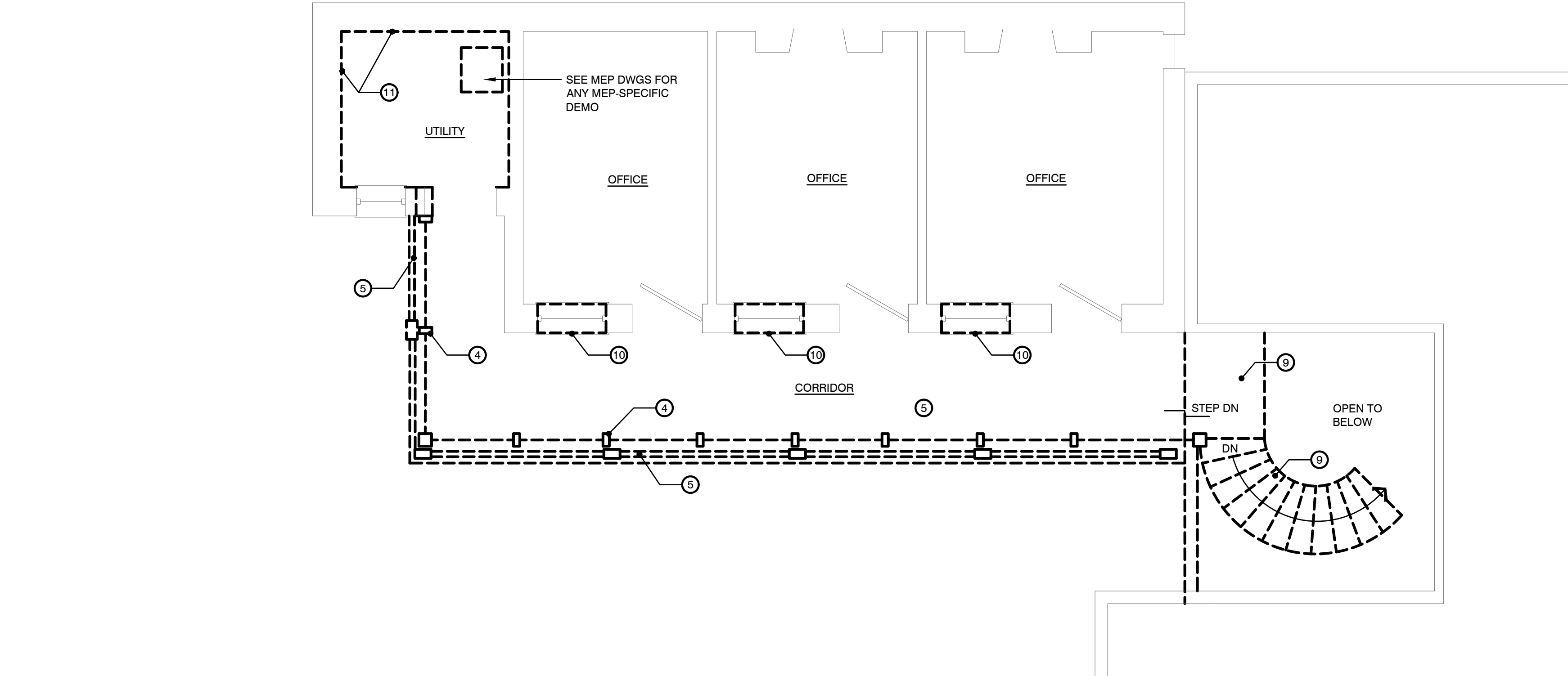
1. THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWINGS AND PROJECT MANUAL (IF APPLICABLE) AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
3. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND/OR CIVIL REQUIREMENTS MUST BE COORDINATED BY THE CONTRACTOR BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
4. ACCESS DOORS AND PANELS SHALL BE PROVIDED BY THE MECHANICAL, FIRE SPRINKLER AND PLUMBING CONTRACTORS AT ALL VALVES, DUCTWORK, FIRE DAMPERS ETC. AS REQUIRED BY CODE. MAINTAIN REQUIRED CLEARANCES IN ATTICS FOR ACCESSWAYS TO ALL VALVES AND DAMPERS ABOVE CEILINGS. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO COORDINATE OPENING SIZES AND LOCATIONS ON SITE WITH SUBCONTRACTORS.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANY.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, AND SHORES AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-WAYS MAY BE SUBJECT DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF ANY MATERIALS, STARTING FABRICATION OR BEGINNING CONSTRUCTION.
8. ALL DEMOLITION AND WORK RELATED DEBRIS SHALL BE REMOVED FROM THE SITE REGULARLY AND PROMPTLY.
9. THE CONTRACTOR, AT THE COMPLETION OF THIS PROJECT, SHALL LEAVE ALL AREAS AND FINISHED SPACES IN A CLEAN AND ACCEPTABLE CONDITION.
10. ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE FULLY COORDINATED WITH THE ARCHITECTURAL DOCUMENTS BY THE GENERAL CONTRACTOR.
11. ALL WORK SHALL BE PERFORMED AT THE HIGHEST LEVEL OF STATE OF THE INDUSTRY PRACTICES.
12. WALL, FLOOR, CEILING GRILLS AND REGISTERS SHALL BE FINISHED TO MATCH COLOR SPECIFIED FOR THE SURFACE IN WHICH THE ITEM IS INSTALLED. PAINT USED ON METAL WORK SHALL BE SEMI-GLOSS ENAMEL UNLESS OTHERWISE SPECIFIED.
13. ALL FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL COORDINATE, SCHEDULE AND PERFORM ALL CONSTRUCTION ACTIVITY, PROVIDE ALL SUPPORT AND MISCELLANEOUS MATERIALS REQUIRED TO ACHIEVE THE INTENDED DESIGN OBJECTIVES.

DRAWING INDEX

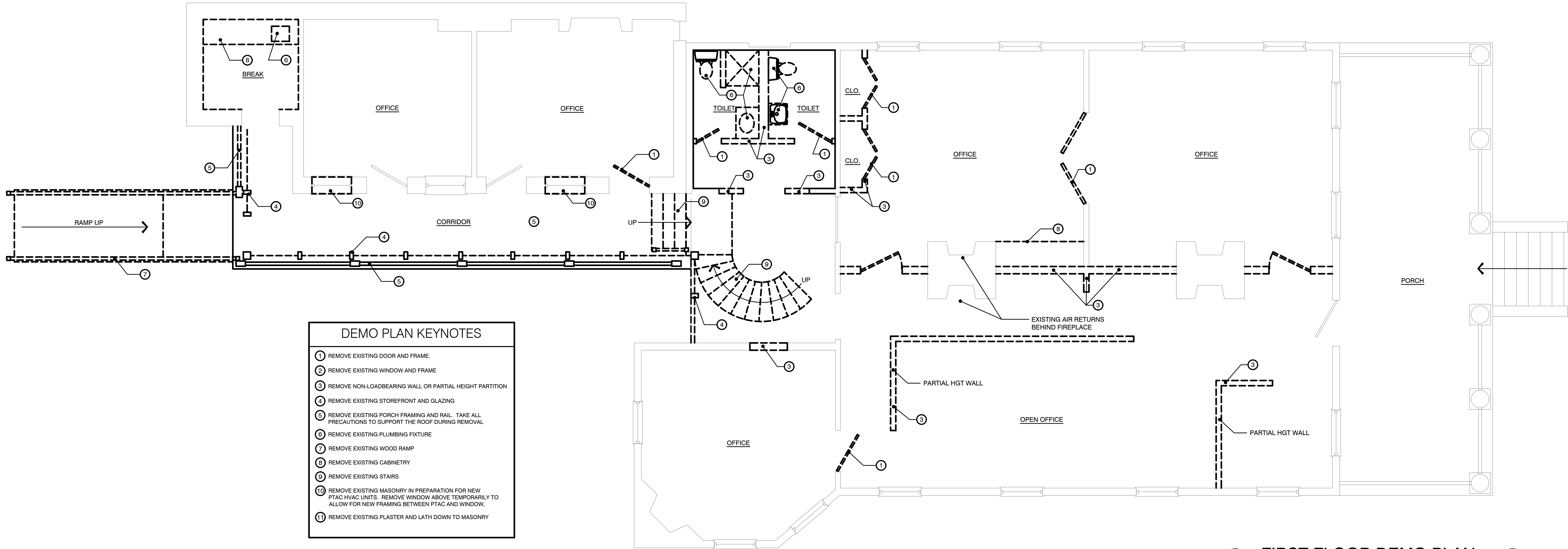
G1.0	DRAWING INDEX, SITE PLAN, NOTES, AND VICINITY MAP
AD1.1	DEMOLITION PLAN
AD1.2	DEMO ELEVATIONS
AD1.3	DEMO ELEVATIONS
A1.1	NEW WORK LAYOUT
A1.5	ENLARGED PORCH PLANS
A1.6	ENLARGED PORCH ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	INTERIOR ELEVATIONS

VICINITY MAP





2 SECOND FLOOR DEMO PLAN
1/4" = 1'-0"



DEMO PLAN KEYNOTES

- 1 REMOVE EXISTING DOOR AND FRAME.
- 2 REMOVE EXISTING WINDOW AND FRAME
- 3 REMOVE NON-LOADBEARING WALL OR PARTIAL HEIGHT PARTITION
- 4 REMOVE EXISTING STOREFRONT AND GLAZING
- 5 REMOVE EXISTING PORCH FRAMING AND RAIL. TAKE ALL PRECAUTIONS TO SUPPORT THE ROOF DURING REMOVAL
- 6 REMOVE EXISTING PLUMBING FIXTURE
- 7 REMOVE EXISTING WOOD RAMP
- 8 REMOVE EXISTING CABINETRY
- 9 REMOVE EXISTING STAIRS
- 10 REMOVE EXISTING MASONRY IN PREPARATION FOR NEW PTAC HVAC UNITS. REMOVE WINDOW ABOVE TEMPORARILY TO ALLOW FOR NEW FRAMING BETWEEN PTAC AND WINDOW.
- 11 REMOVE EXISTING PLASTER AND LATH DOWN TO MASONRY

1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"

DEMOLITION GENERAL NOTES

GENERAL - DEMOLITION SCOPE
DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

GENERAL - PROTECTION OF STRUCTURE
THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAYS WORK OR AT THE APPROACH OF RAIN.

GENERAL - DEMOLITION AND REMOVAL
DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND NOTED ON THE DRAWINGS.
1) REMOVAL OF CERTAIN WOOD, GYPSUM BOARD WALLS, FLOORS, DECKS, FRAMING, NAILERS AND CEILINGS.
2) REMOVAL OF CERTAIN DOORS.
3) REMOVAL OF CERTAIN TRIM.

NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS

GENERAL HARDSCAPE PROTECTIONS:
THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE-TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL.

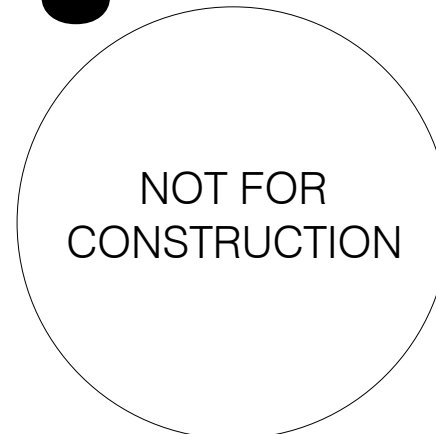
HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.

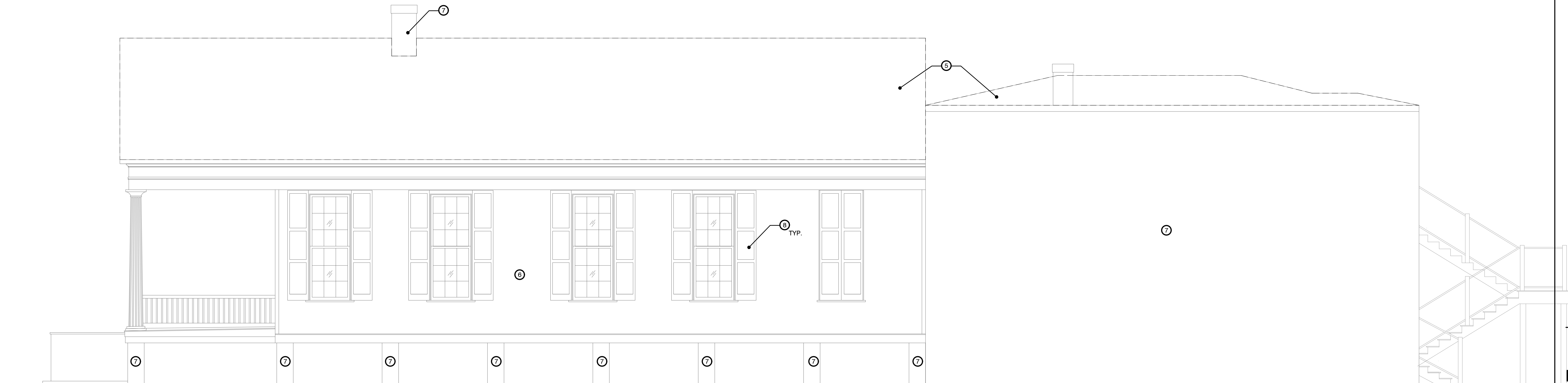
PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.

CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION

GENERAL: PROTECTION
SURROUNDING AND ADJACENT MATERIALS AND PLANTS SHALL BE COVERED AND CAREFULLY PROTECTED DURING THE CLEANING OPERATION. SOIL BELOW WALLS TO BE CLEANED SHALL BE NEUTRALIZED AND EXCESS CHEMICALS SHALL BE WASHED AWAY OR GATHERED AND DISPOSED OF ELSEWHERE.

GENERAL: PROTECTION OF BUILDINGS
THE CONTRACTOR SHALL PROTECT THE BUILDING AND KEEP IT DRY AT ALL TIMES. HE SHALL PROVIDE AND INSTALL TEMPORARY FLASHING, MEMBRANE OR PLYWOOD COVERS, PIPING, GUTTERING, DOWN SPOUTS, ETC. AS MAY BE NEEDED TO PROTECT THE BUILDING FROM DAMAGE FROM ANY SOURCE - NATURAL OR MAN MADE.





2 DEMO NORTH ELEVATION

1/4"= 1'-0"

DEMOLITION GENERAL NOTES

GENERAL - DEMOLITION SCOPE
DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

GENERAL - PROTECTION OF STRUCTURE
THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAY'S WORK OR AT THE APPROACH OF RAIN.

GENERAL - DEMOLITION AND REMOVAL
DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND NOTED ON THE DRAWINGS.

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2) REMOVAL OF CERTAIN DOORS.
3) REMOVAL OF CERTAIN TRIM.

NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS

GENERAL HARDSCAPE PROTECTIONS:
THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTORS RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

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DEMO ELEV KEYNOTES

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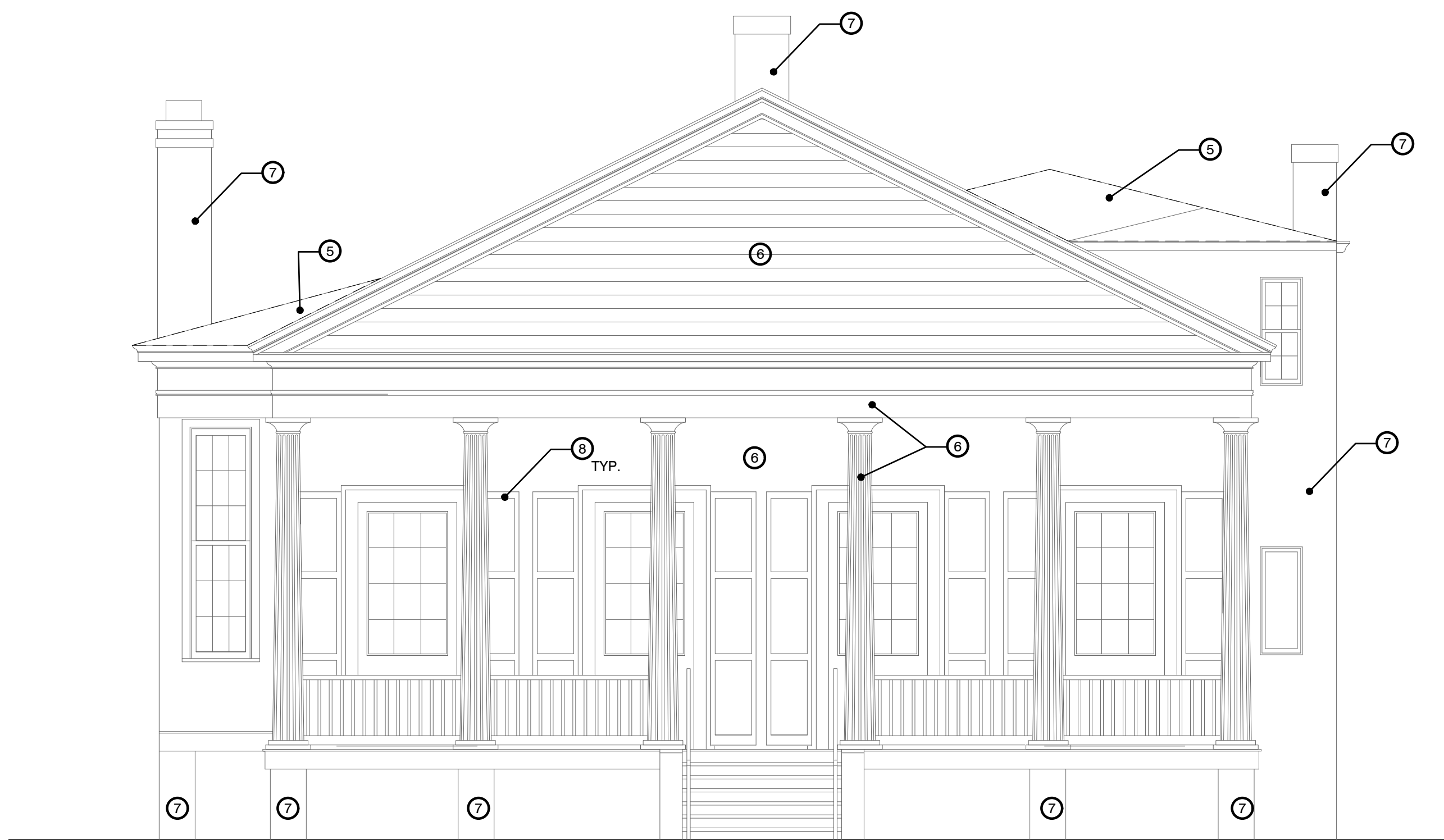
4 REMOVE EXISTING WOODEN RAMP

5 REMOVE EXISTING SHINGLE ROOFING AND UNDERLAYMENT. REPAIR/REPLACE AND DAMAGED ROOF SHEATHING

6 GRIND/SCRAPE EXISTING WOOD SIDING/TRIM IN PREPARATION FOR PRIME & PAINT. REPAIR ANY DAMAGED WOODWORK IN-KIND WITH LIKE-DETAILING, PROFILE, EXPOSURE, ETC.

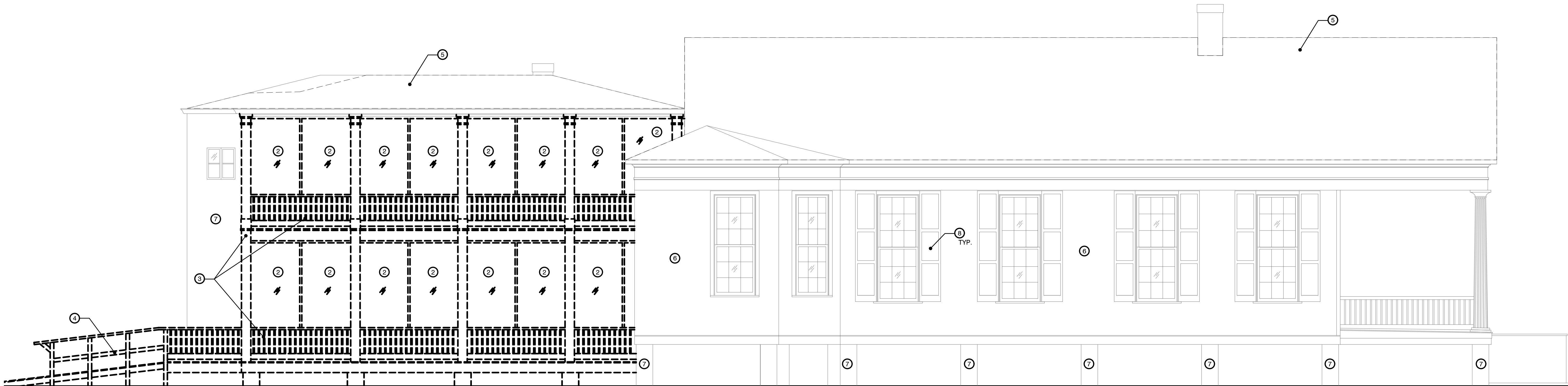
7 CLEAN EXISTING BRICK. REPOINT/REPAIR ANY AREAS IN NEED

8 REPAIR ANY DAMAGED SHUTTERS WITH IN-KIND DETAILING IN PREPARATION FOR PRIME AND PAINT



1 DEMO EAST ELEVATION

1/4"= 1'-0"



2 DEMO SOUTH ELEVATION
1/4"=1'-0"

DEMOLITION GENERAL NOTES

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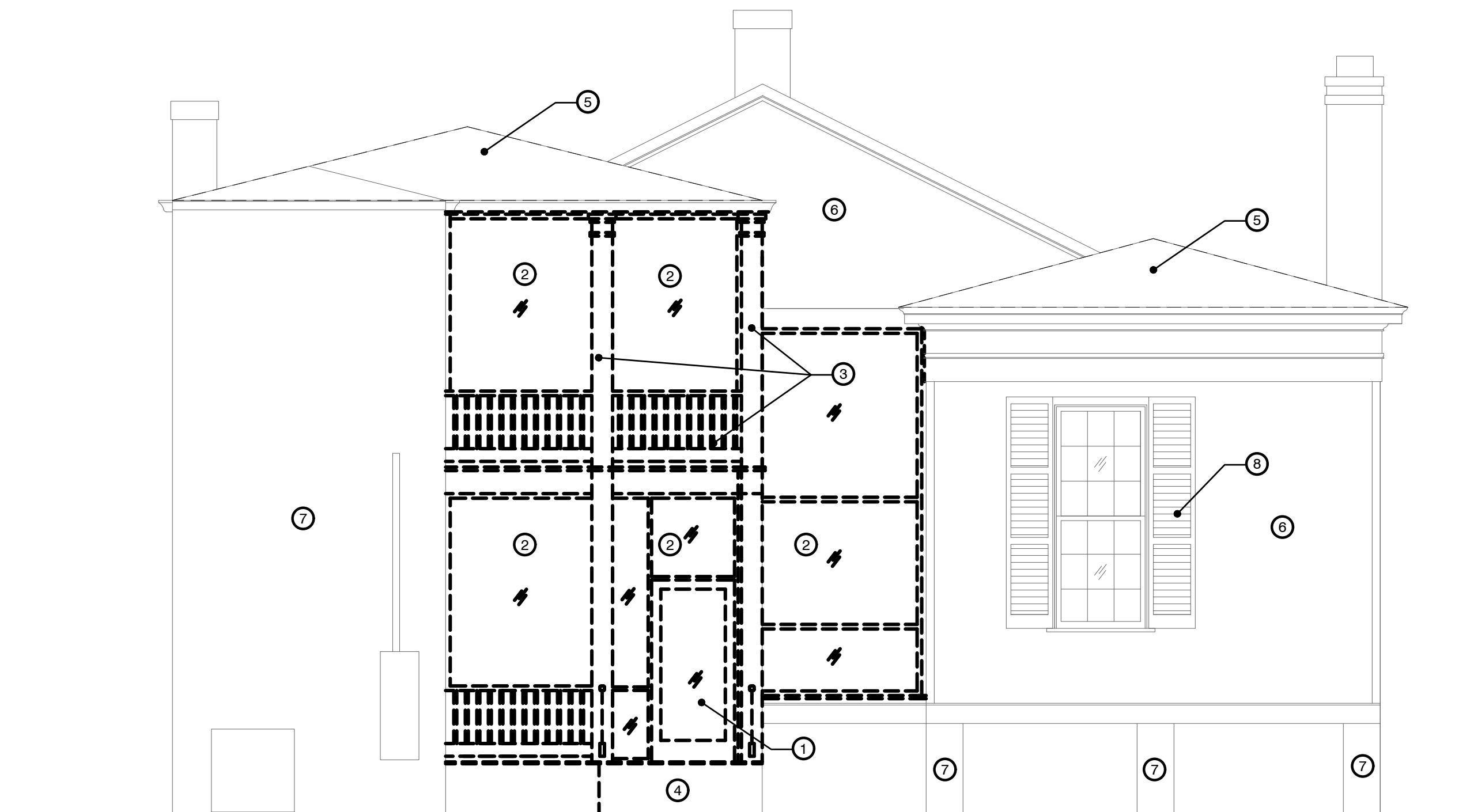
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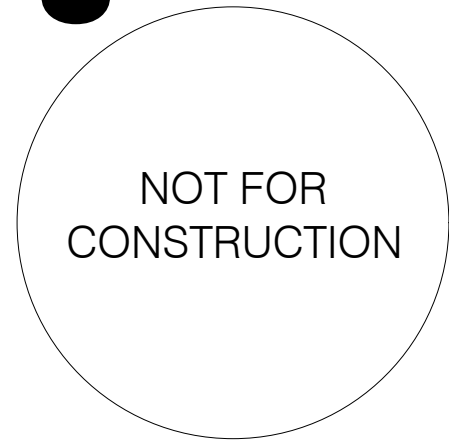
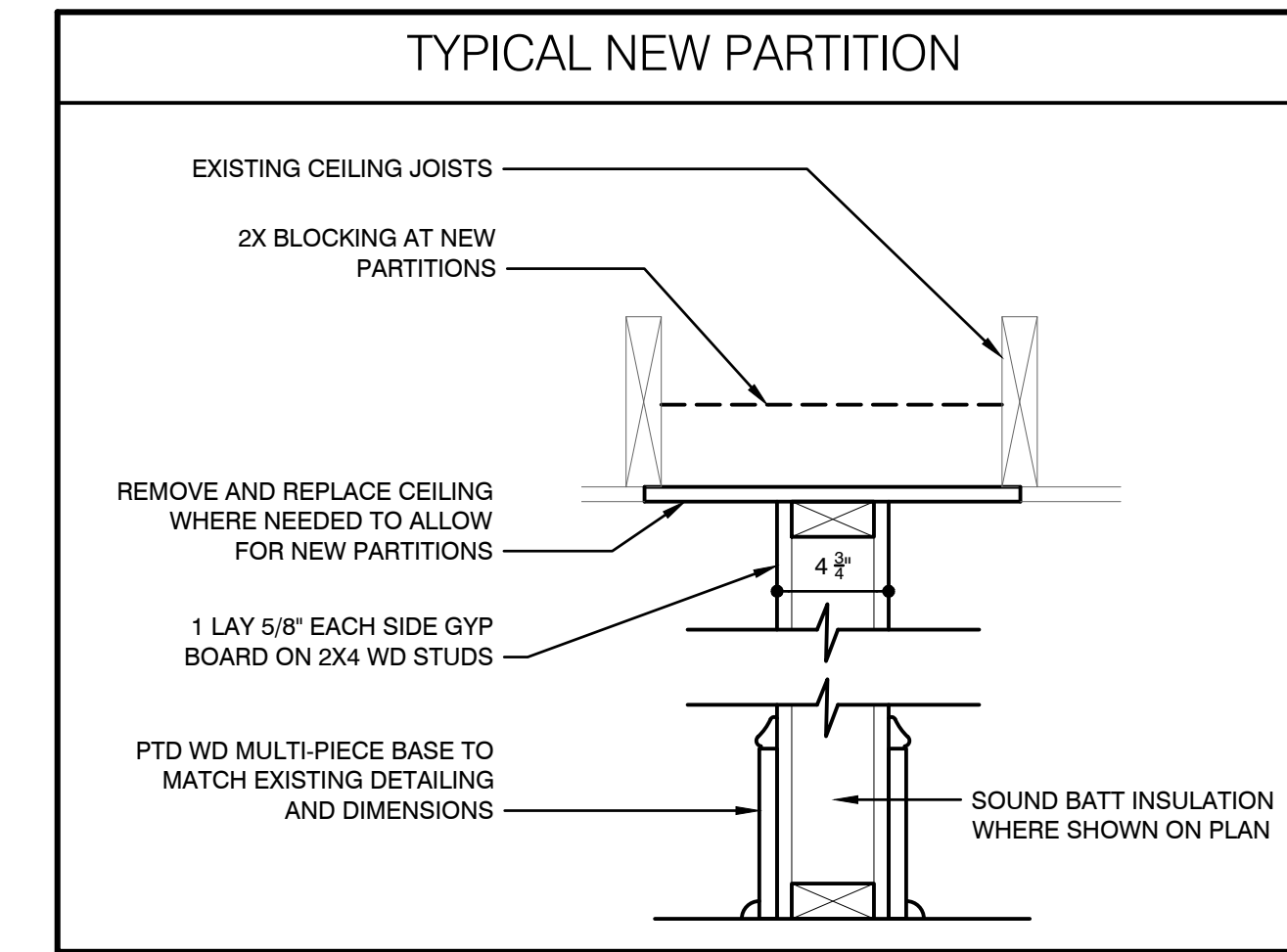
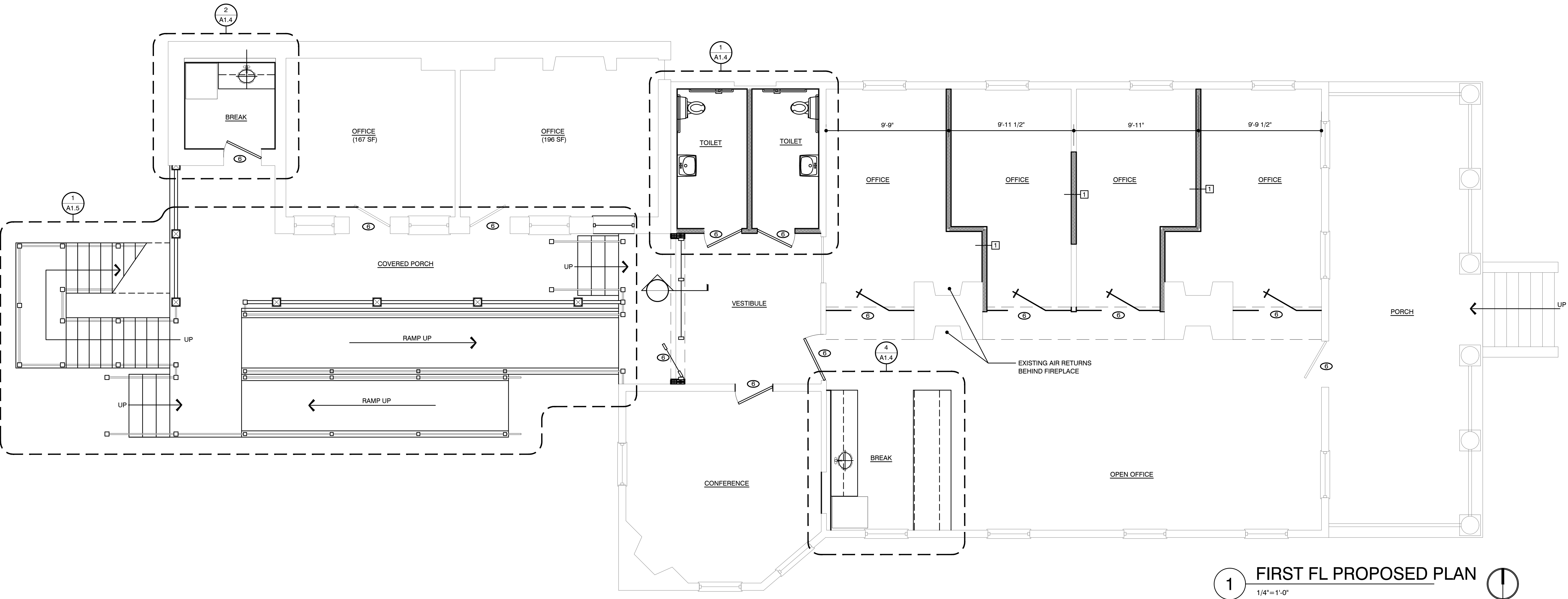
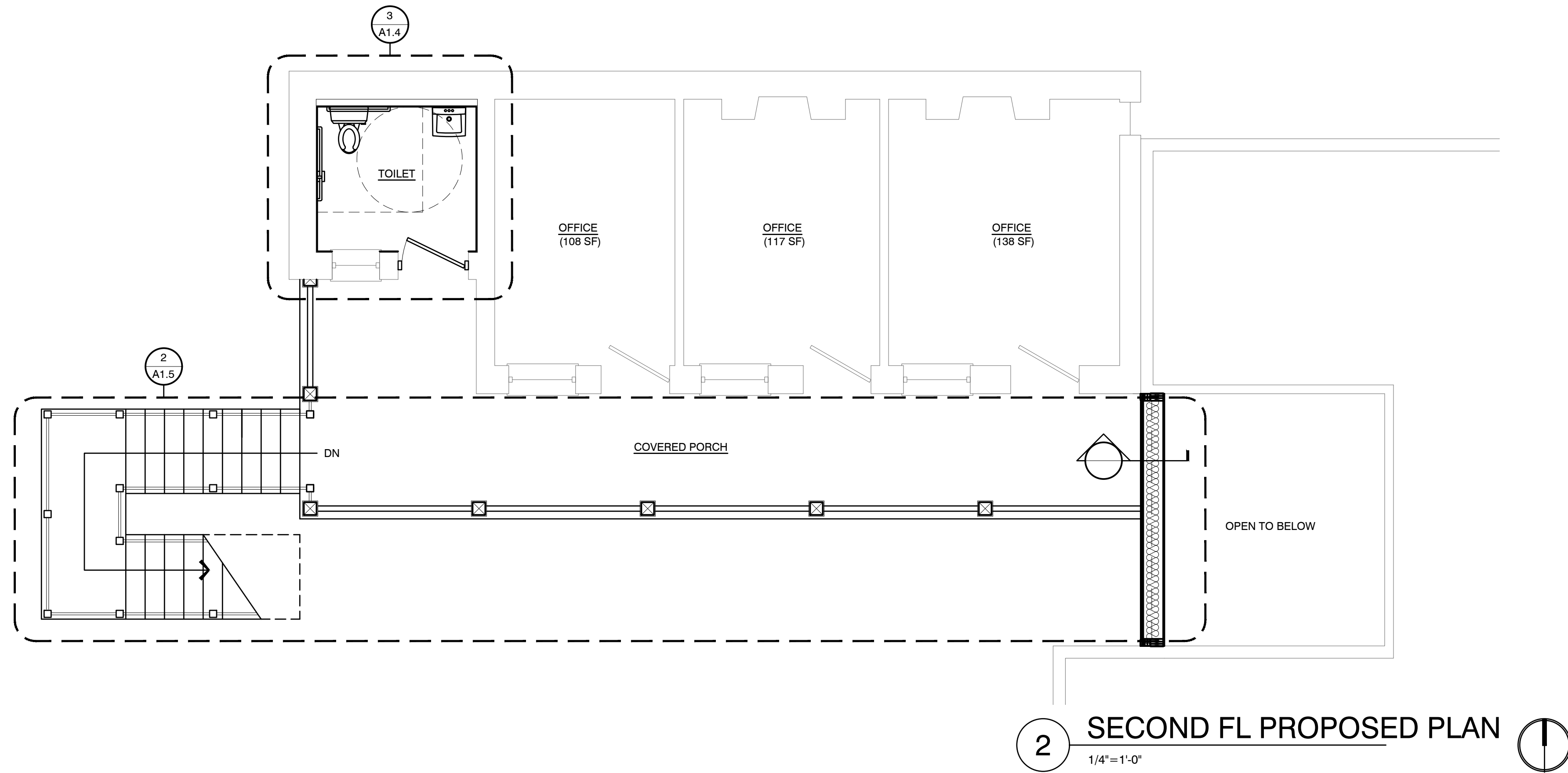
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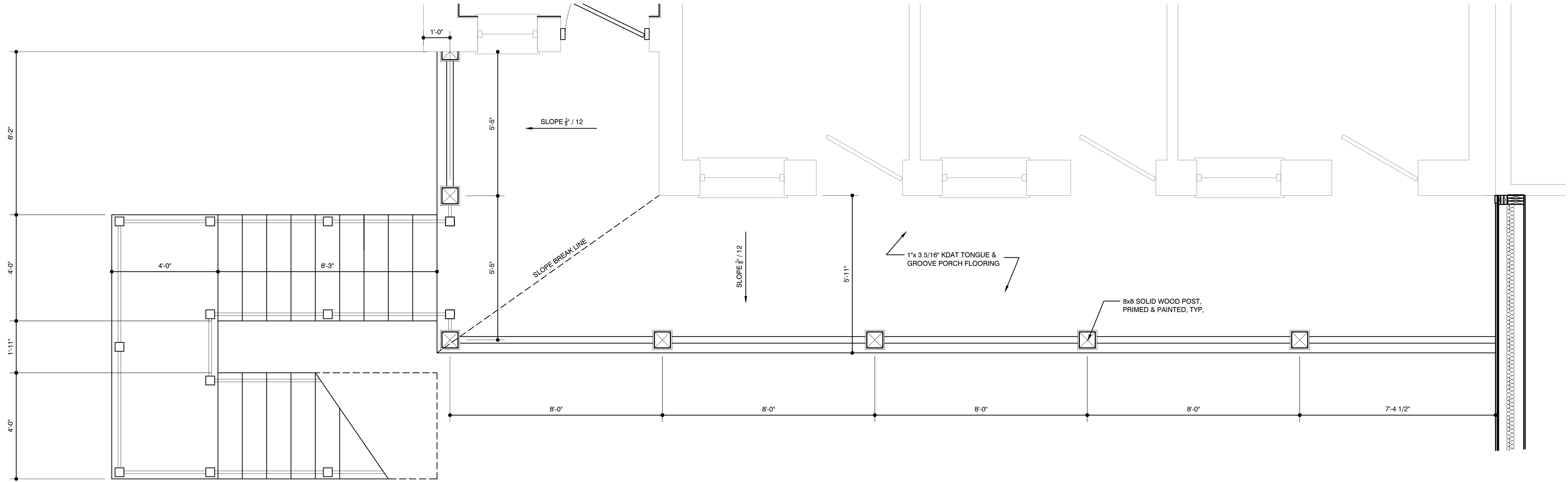
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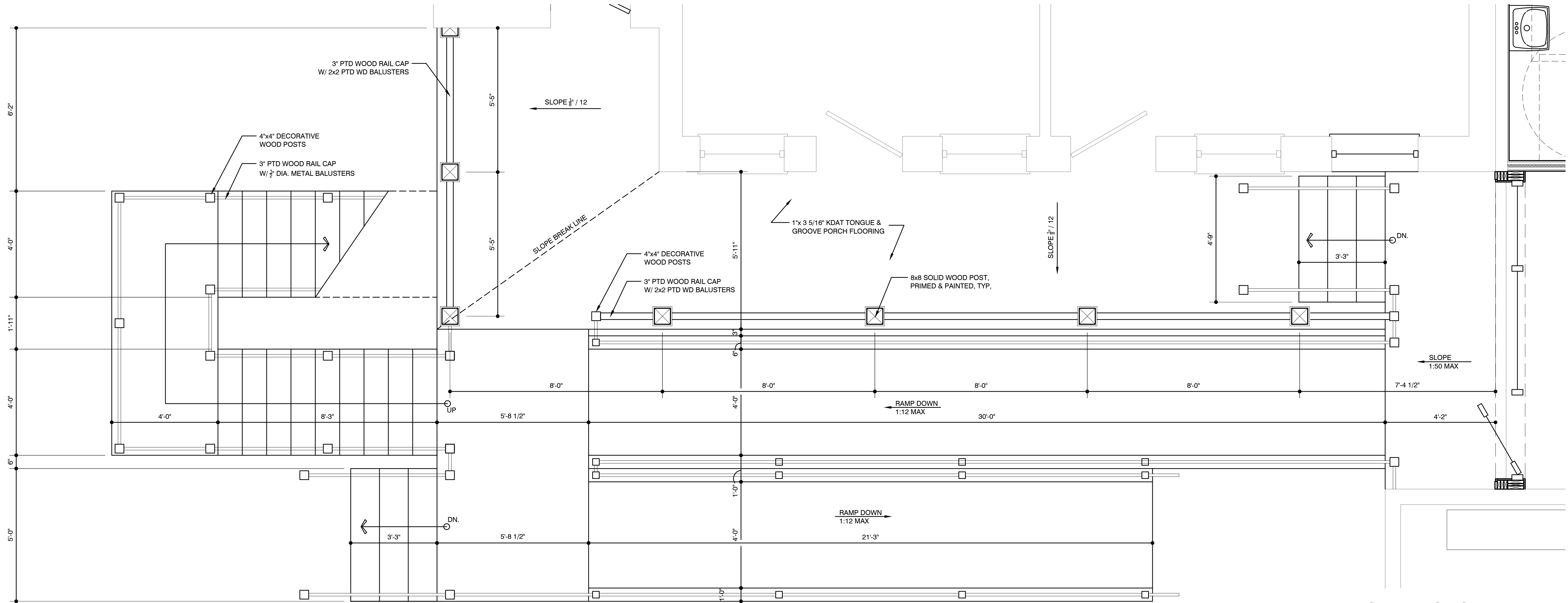


1 DEMO WEST ELEVATION
1/4"=1'-0"

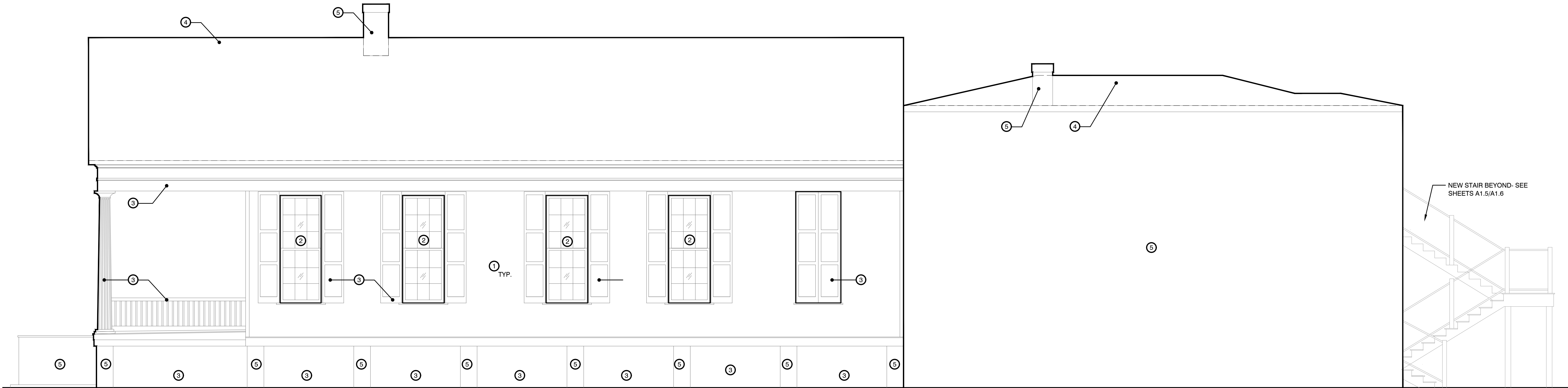




2 SECOND FL PORCH PLAN
1/2" = 1'-0"



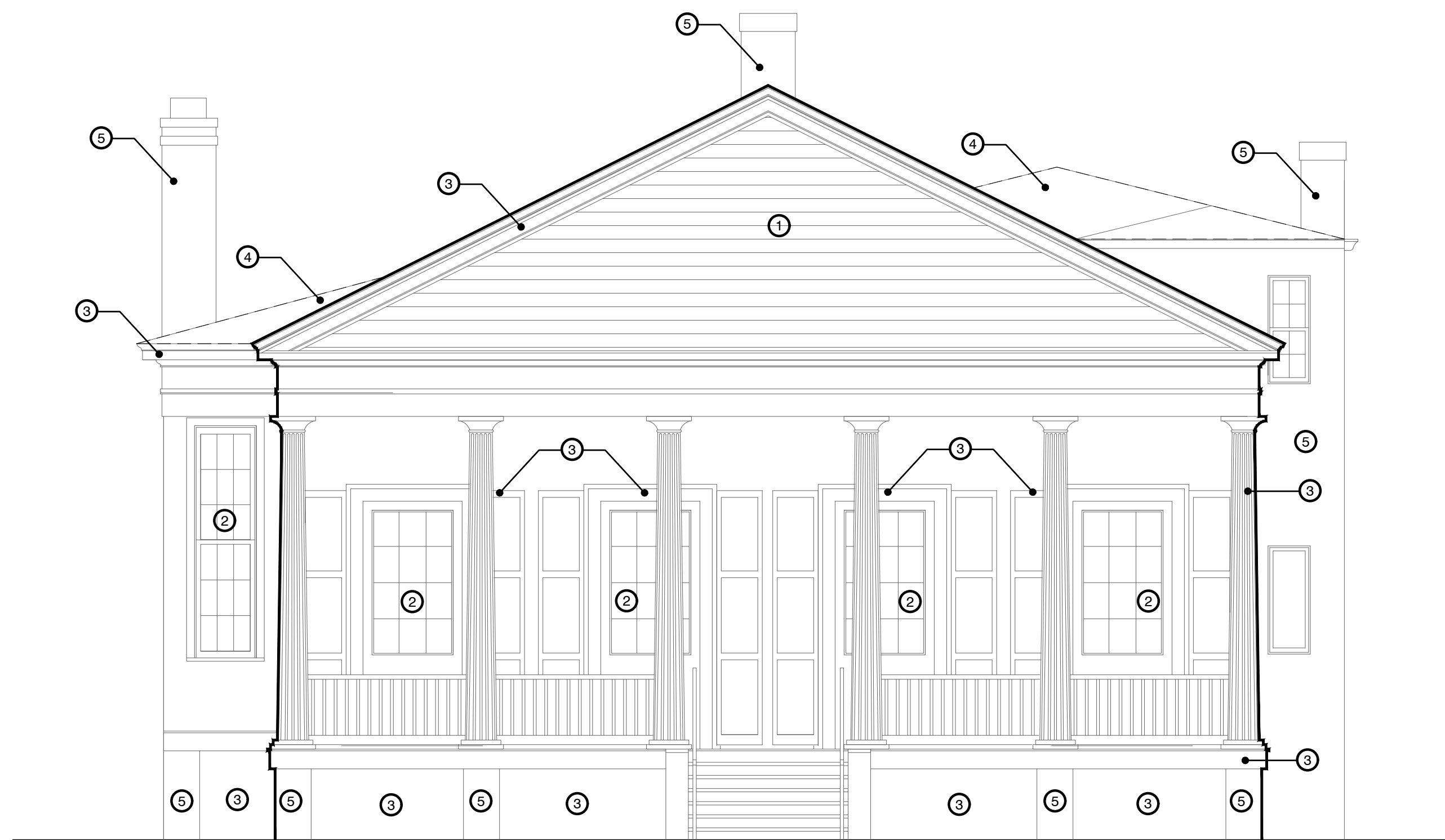
1 FIRST FL PORCH PLAN
1/2" = 1'-0"



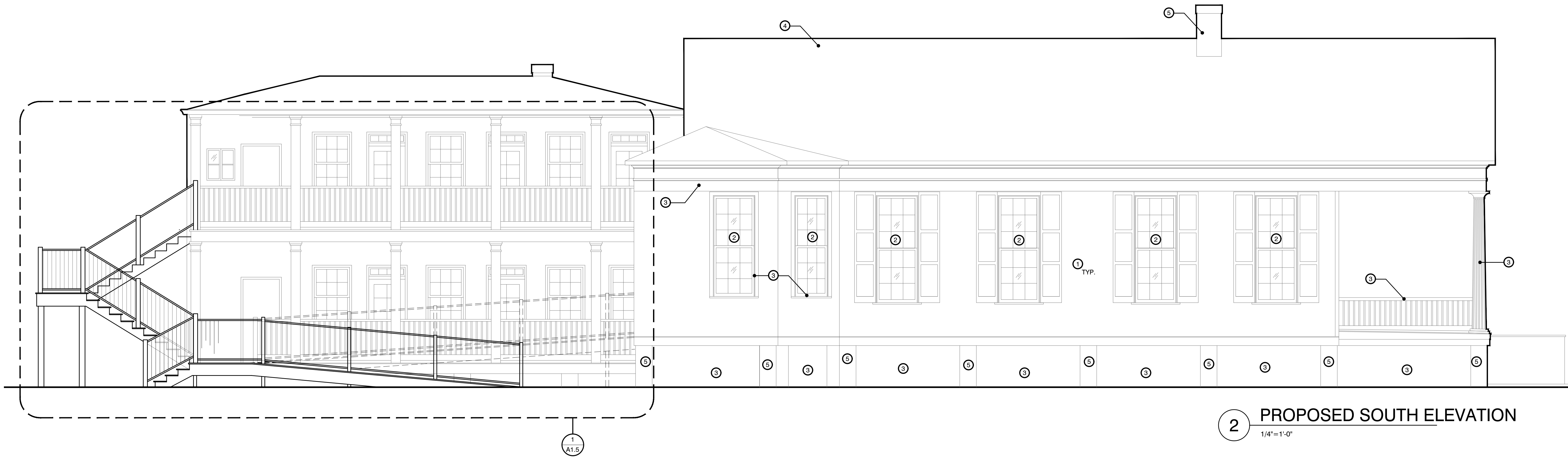
2 PROPOSED NORTH ELEVATION
1/4"=1'-0"

ELEVATION KEYNOTES

- 1 PRIME & PAINT EXISTING WOOD SIDING. REPAIR AND DAMAGED OR MISSING SECTIONS WITH IN-KIND DETAILING
- 2 SCRAPE, PRIME & PAINT EXISTING WOOD WINDOWS. REPAIR ANY DAMAGED SECTIONS WITH IN-KIND DETAILING
- 3 SCRAPE, PRIME & PAINT EXISTING WOOD TRIM, COLUMN, SHUTTER, LATTICE, ETC.. REPAIR ANY DAMAGED SECTIONS WITH IN-KIND DETAILING
- 4 NEW CHARCOAL GRAY ARCHITECTURAL ASPHALT SHINGLES. CERTAINTED LANDMARK OR APPROVED EQUAL.
- 5 CLEAN EXISTING BRICK. REMOVE ANY LOOSE OR DAMAGED GROUT. REPOINT WHERE NECESSARY TO MATCH EXISTING GROUT COLOR. PROVIDE 24X24 MOCKUP PRIOR TO REPOINTING.



1 PROPOSED EAST ELEVATION
1/4"=1'-0"

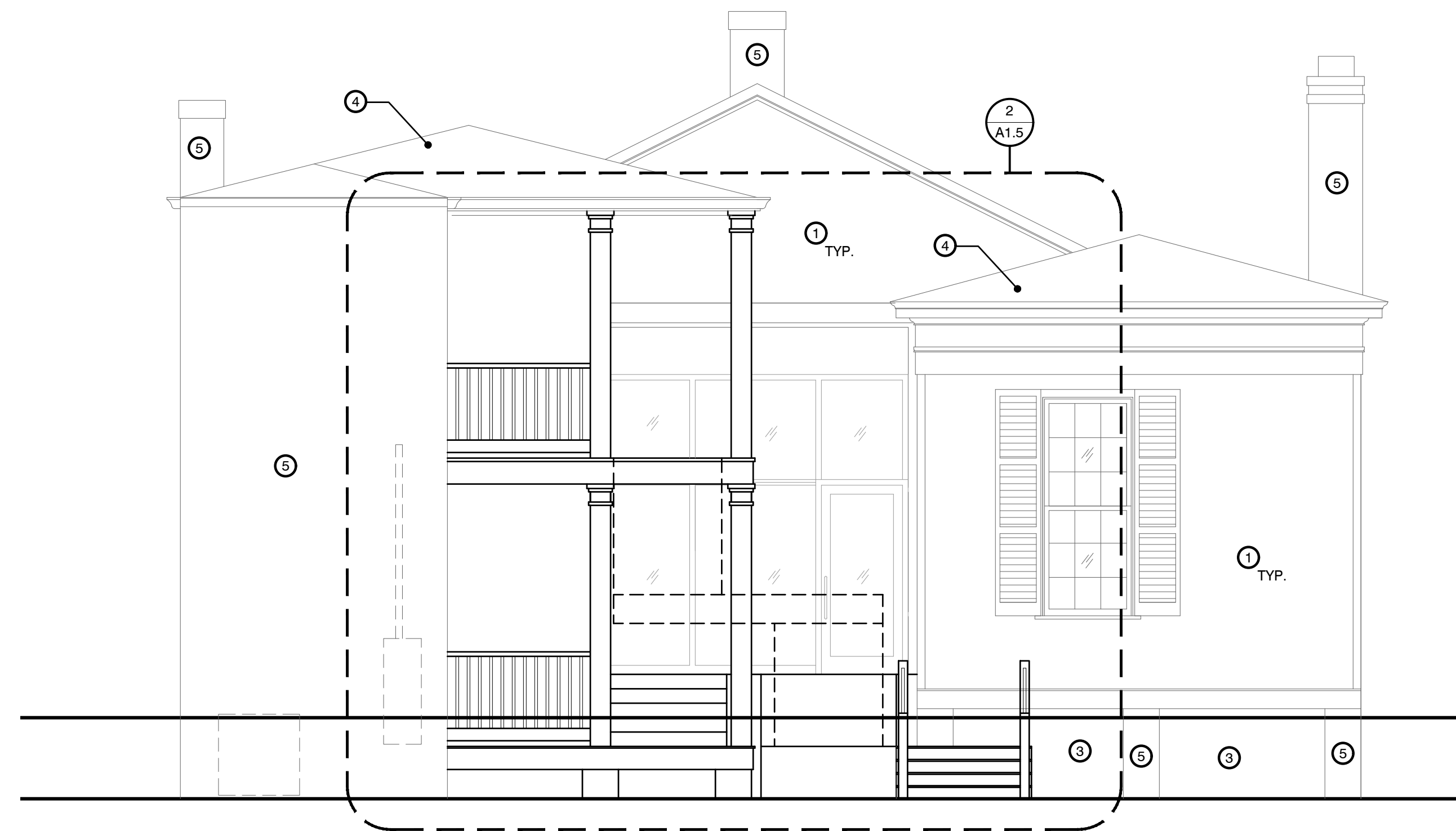


2 PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

ELEVATION KEYNOTES

- 1 PRIME & PAINT EXISTING WOOD SIDING. REPAIR AND DAMAGED OR MISSING SECTIONS WITH IN-KIND DETAILING
- 2 SCRAPE, PRIME & PAINT EXISTING WOOD WINDOWS. REPAIR ANY DAMAGED SECTIONS WITH IN-KIND DETAILING
- 3 SCRAPE, PRIME & PAINT EXISTING WOOD TRIM, COLUMN, SHUTTER, LATTICE, ETC.. REPAIR ANY DAMAGED SECTIONS WITH IN-KIND DETAILING
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1 PROPOSED WEST ELEVATION

1/4" = 1'-0"