



# Agenda Item #1

## Application 2024-32-CA

### DETAILS

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**Location:**

904 Texas Street

**Summary of Request:**

Construct an addition to the rear of the structure

**Applicant (as applicable):**

Randle Miller

**Property Owner:**

Same

**Historic District:**

Oakleigh Garden

**Classification:**

Contributing

**Summary of Analysis:**

- The addition would sit at the location of a previous non-historic addition.
- The addition is inferior in scale to the original structure and is located to the rear.
- The proposed addition follows the *Guidelines* regarding placement, scale, materials, and details.

**Report Contents:**

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## PROPERTY AND APPLICATION HISTORY

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Oakleigh Garden Historic District was initially listed in the National Register in 1972 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, landscape architecture, and planning and development. The district is significant for its high concentration of 19<sup>th</sup>- and 20<sup>th</sup>-century architectural types and styles and significant in the area of landscape architecture for its canopies of live oaks planted from 1850 to 1910. The district is significant in the area of planning and development as the location of Washington Square, one of only two antebellum public parks remaining in Mobile. The district was expanded in 1984, and an updated nomination was approved in 2016.

The property at 904 Texas Street consists of a narrow and deep wood-frame cottage with a low hip roof, full-width front porch, and off-set wing to the east. Historic Development files record the construction date of this property as c. 1895. The dwelling appears on the 1904 Sanborn Map with the front porch spanning the façade only. The subsequent overlay in 1925 shows the porch wrapping around the east corner of the façade and abutting the south elevation of the wing, producing a slightly irregular roof line to allow for the alteration. An addition, which was later demolished, was built onto the rear elevation of the main block of the house.

Historic Development Department records contain a survey photo dated to 1989 which shows the house in fair condition. Since that time, it has been allowed to deteriorate considerably. In January 2025, an administrative Certificate of Appropriateness (COA) was issued to begin a restoration project. The scope of work included the repair and/or replacement of siding, windows, and other exterior features. Replacements either match or mimic the original materials and profiles.

This property has never appeared before the Architectural Review Board (ARB).

## SCOPE OF WORK

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1. Construct an addition to the west end of the north (rear) elevation.
  - a. The proposed addition would measure approximately 12'-0" wide by 16'-0" deep and would sit in the same location as the previous non-historic addition.
  - b. The addition would be topped by an extension of the existing roof which would be clad in shingles to match.
  - c. The addition would be clad in Hardie siding to match that approved for the existing east, west, and south elevation.
  - d. The existing corner board on the structures northwest corner would either remain or be replaced in-kind to distinguish the original block of the dwelling from the new addition.
  - e. The addition's proposed foundation of brick piers with framed panels for infill would match that of the original house in design, materials, and height.
  - f. Two one-over-one aluminum-clad wood windows measuring 3'-0" =W x 5'-0" H would be located on the addition's west elevation.
  - g. A wood landing measure 4'-0" W by 4'-0" D would provide access to the rear entry door. The landing would be accessed by four wood steps rising from west to east. A wood balustrade and railing would enclose the landing and steps.

## APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

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1. **6.9** Place an addition so that it is subordinate to the historic residential structure.
  - Place and design an addition to the rear or side of the historic building wherever possible.
  - Place a vertical addition in the rear so it is not visible from the street.
2. **6.10** Design an addition to be compatible in massing and scale with the original historic structure.
  - Design the massing of an addition to appear subordinate to the historic building.

- Where feasible, use a lower-scale connecting element to join an addition to a historic structure.
  - Where possible, match the foundation and floor heights of an addition to those of the historic building.
3. **6.11** Design the exterior walls of an addition to be compatible in scale and rhythm with the original historic structure.
    - Design the height of an addition to be proportionate with the historic building, paying particular attention to the foundation and other horizontal elements.
    - Design the addition to express floor heights on the exterior of the addition in a fashion that reflects floor heights of the original historic building.
  4. **6.12** Clearly differentiate the exterior walls of an addition from the original historic structure.
    - Use a physical break or setback from the original exterior wall to visually separate the old from new.
    - Use an alteration in the roofline to create a visual break between the original and new, but ensure that the pitches generally match.
  5. **6.13** Use exterior materials and finishes that are comparable to those of the original historic residential structure in profile, dimension and composition. Modern building materials will be evaluated for appropriateness or compatibility with the original historic structure on an individual basis, with the objective of ensuring the materials are similar in their profile, dimension, and composition to those of the original historic structure.
    - Utilize an alternative material for siding as necessary, such as cement-based fiber board, provided that it matches the siding of the historic building in profile, character and finish.
    - Use a material with proven durability.
    - Use a material with a similar appearance in profile, texture and composition to those on the original building.
    - Choose a color and finish that matches or blends with those of the historic building.
    - Do not use a material with a composition that will impair the structural integrity and visual character of the building.
    - Do not use a faux stucco application.
  6. **6.14** Design a roof of an addition to be compatible with the existing historic building.
    - Design a roof shape, pitch, material and level of complexity to be similar to those of the existing historic building.
    - Incorporate overhanging exposed rafters, soffits, cornices, fascias, frieze boards, moldings or other elements into an addition that are generally similar to those of the historic building.
    - Use a roofing material for an addition that matches or is compatible with the original historic building and the district.
  7. **6.15** Design roofs such that the addition remains subordinate to the existing historic buildings in the district.
    - Where possible, locate a dormer or skylight on a new addition in an inconspicuous location.
    - In most cases, match a roof and window on a dormer to those of the original building.
  8. **6.17** Design and place a new porch to maintain the visibility to and integrity of an original historic porch, as well as the overall historic building.
    - Do not expand an original historic front porch. Additions of new front porches or expansion of existing front porches are generally not appropriate.
    - Limit the height of a porch addition roofline so it does not interfere with second story elevations. Replace a rear porch where a previously existing rear porch is lost or enclosed.
    - Design a rear porch so that its height and slopes are compatible with the original historic structure.
  9. **6.18** Design a new porch to be compatible with the existing historic building.

- Design the scale, proportion and character of a porch addition element, including columns, corner brackets, railings and pickets, to be compatible with the existing historic residential structure.
  - Match the foundation height of a porch addition to that of the existing historic structure.
  - Design a porch addition roofline to be compatible with the existing historic structure. However, a porch addition roofline need not match exactly that of the existing historic building. For example, a porch addition may have a shed roof.
  - Use materials for a porch addition that are appropriate to the building.
  - Do not use a contemporary deck railing for a porch addition placed at a location visible from the public street.
  - Do not use cast concrete steps on façades or primary elevations.
10. **6.19** Design piers, foundations and foundation infill on a new addition to be compatible with those on the historic building.
- Match the foundation of an addition to that of the original.
  - Use a material that is similar to that of the historic foundation.
  - Match foundation height to that of the original historic building.
  - Use pier foundations if feasible and if consistent with the original building.
  - Do not use raw concrete block or wood posts on a foundation.
11. **6.20** Use details that are similar in character to those on the historic structure.
- Match a detail on an addition to match the original historic structure in profile, dimension and material.
  - Use ornamentation on an addition that is less elaborate than that on the original structure.
  - Use a material for details on an addition that match those of the original in quality and feel.
  - Match the proportions of details on an addition to match the proportions used on the original historic structure.
12. **6.21** Design a window on an addition to be compatible with the original historic building.
- Size, place and space a window for an addition to be in character with the original historic building.
  - If an aluminum window is used, use dimensions that are similar to the original windows of the house. An extruded custom aluminum window approved by the NPS or an aluminum clad wood window may be used, provided it has a profile, dimension and durability similar to a window in the historic building.

## STAFF ANALYSIS

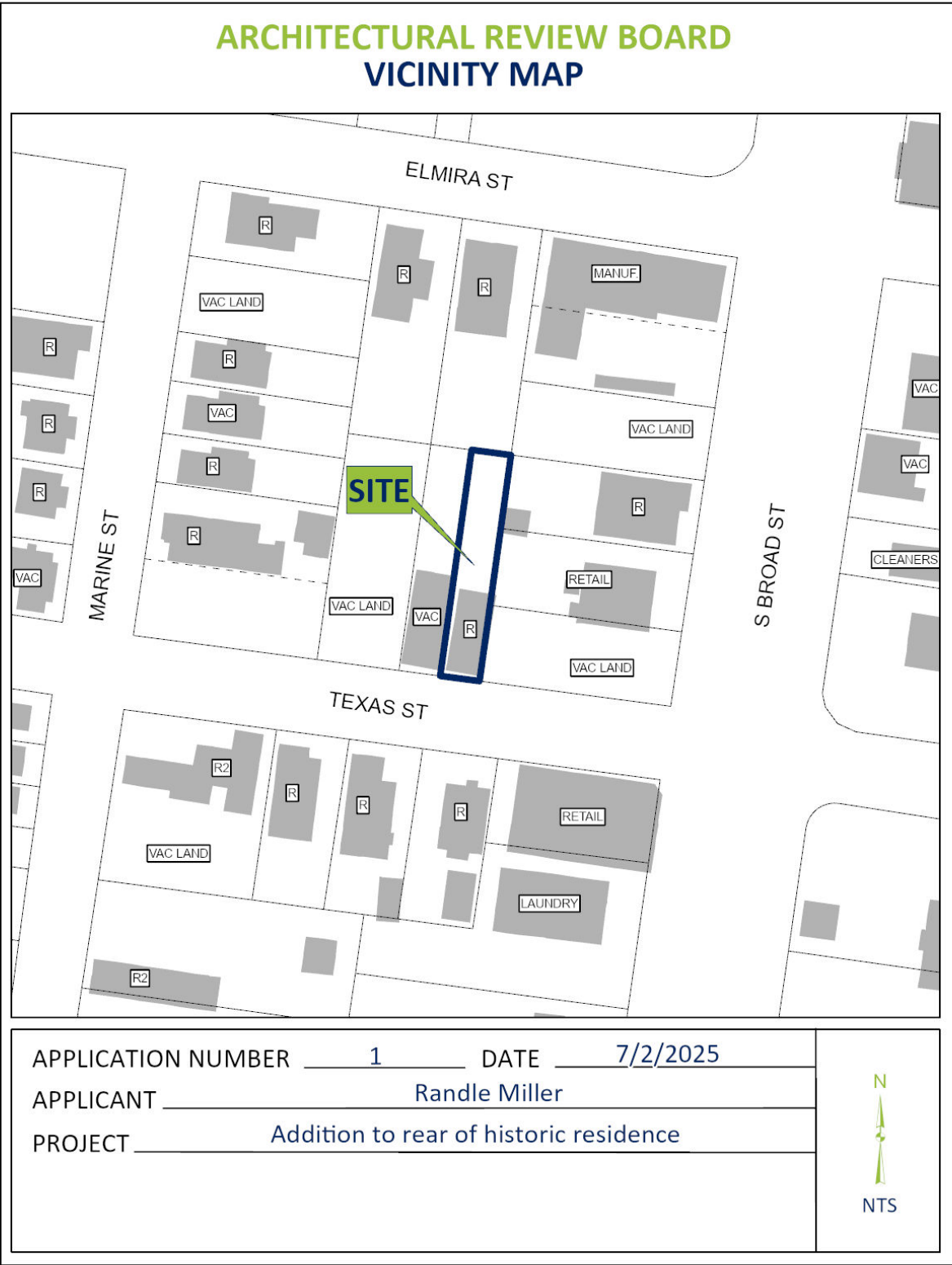
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The historic structure at 904 Texas Street is a contributing resource within the Oakleigh Garden Historic District. The application under review includes the construction of a new rear addition.

The *Guidelines* call for the placement of an addition to an existing historic structure to appear subordinate to the main structure. The footprint of the proposed addition, approximately 192 sf, is roughly 14.5% of the structure's total square footage (approximately 1323sf); making it inferior to the original structure. In further compliance with the *Guidelines*, the scale and the rhythm of the proposed addition is in sync with that of the original structure in its preservation of consistent ceiling and floor heights, traditional fenestration patterns, and solid-to-void ratios. (6.10,6.11, 6.14,6.15) In addition to the subordinate size and scale, retaining the existing corner board on the northwest corner of the house would clearly differentiate the historic structure from the addition. (6.12)

The materials, finishes, and details proposed for exterior walls, roof, fenestration, and foundation of the addition match or complement those of the original historic structure, maintaining its architectural integrity and visual character. (6.13, 6.19-6.21)

The incorporation of the original rear porch on the west end of the rear elevation into the gallery and rear porch design, and the use of matching elements such as cornice profile, columns, and railings is an appropriate alteration which maintains three elements of historic integrity as outlined by the Secretary of the Interior: location, design, and feeling. (6.17,6.18)



## SITE PHOTOS - 904 TEXAS STREET



1. View of property, looking NW



2. View of west elevation, looking NE



3. View of rear and west elevations, looking SE



4. View of rear and east elevation, looking SW



City of Mobile • Historic Development

# Architectural Review Board Application

\_\_\_\_\_  
Date of Application

\_\_\_\_\_  
Date Received

## Address of Property

Does any party hold a façade easement on this property? ☒ No ☐ Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

## Cost of Project (Required)

Fee Paid: ☐ \$ \_\_\_\_\_ Check # \_\_\_\_\_

\_\_\_\_\_  
Owner Name

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Email millerman1966@hotmail.com

\_\_\_\_\_  
Address

\_\_\_\_\_  
Zip Code

*If Owner is a legal entity such as a corporation, limited liability company, limited liability, partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.*

\_\_\_\_\_  
Owner's Representative Name

\_\_\_\_\_  
Phone

\_\_\_\_\_  
Email

\_\_\_\_\_  
Address

\_\_\_\_\_  
Zip Code

Describe the Proposed Work:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: [www.BuildMobile.org](http://www.BuildMobile.org) | [historicdevelopment@cityofmobile.org](mailto:historicdevelopment@cityofmobile.org) | 251.208.7281

Visit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

Revised August 2023

Does the work involve demolition of a structure? ☒ **No** ☐ **Yes** Please fill out demolition portion of application.

Does the proposed work involve signage? ☐ **No** ☐ **Yes**

Will the proposed work require the removal of any trees from the site? ☒ **No** ☐ **Yes**

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

**REQUIRED PLANS:** If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

**Refer to the following checklist for requirements for specific work items to be performed.** Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

**Staff Reports:** The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

**Alterations to Approved Plans:** A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

**Historic Markers:** The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

**Conflicts of Interest:** ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

**Public Notice:** A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

Randy Miller  
May, 30 2025

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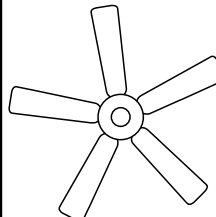
















A stylized, handwritten signature in black ink, appearing to read 'Randy Miller', written over a horizontal line.

x




Diagram illustrating the minimum clear opening requirements for a vertical window unit. The unit is shown with a height dimension of 44" MAX. and a width dimension of 20" MIN. The clear opening height is labeled as 24" MIN. The net opening area is specified as 57 S.F. MIN.

### MINIMUM EGRESS OPENING SIZE

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling classic	1	
ceiling fan 5 bladed OI	2	
dryer outlet 220v	1	
exterior craftsman light fixture	1	
exterior light O3	1	
fan	1	
LED - 6 inch	9	
light	6	
outlet	17	
outlet gfi	11	
Outlet gfi with waterproof cover	2	
pendant cone	3	
recessed light - Sealed	1	
smoke detector	1	
stove outlet 220v	1	
switch	14	
switch 3 way	3	
wall mounted O5 2 lights	1	

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904 TEXAS STREET  
LOT 11, THE BERNOUY TRACT



CLIENT NAME :		MILLER	
JOB NO. :		25-055	
PLAN NO. :		-	
DATE ISSUED :		28 MAR 24	
DATE PLOTTED :		28 MAY 25	
DRAWN BY : Quinton Duncan		CHECKED BY : Alan Duncan	
SHEET No. :			

SHEET No. :

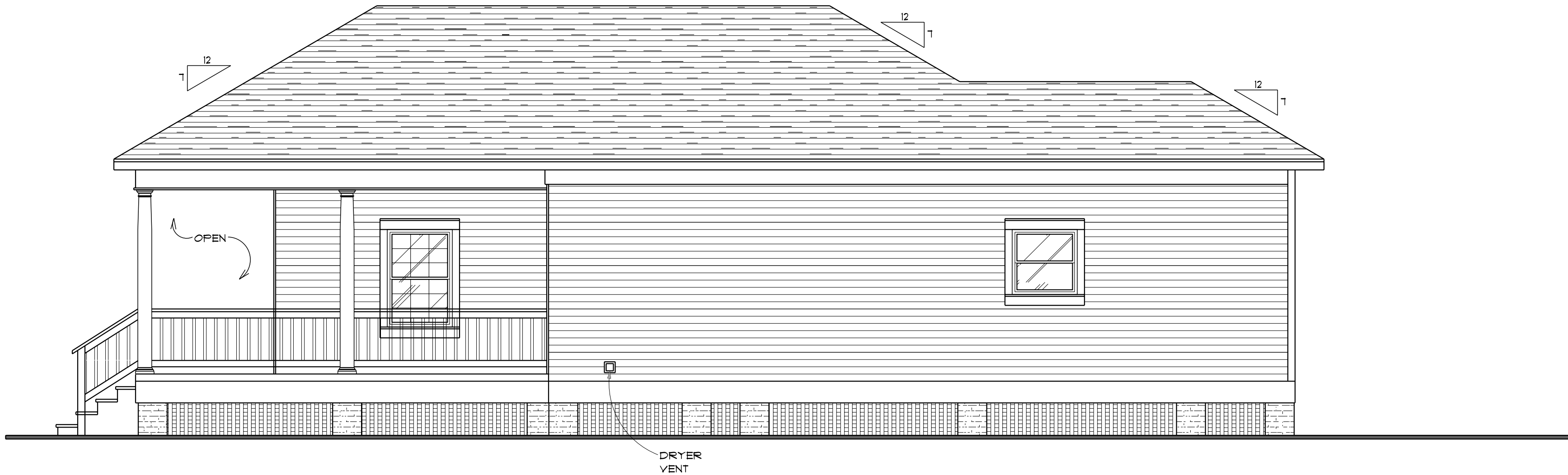
A-1

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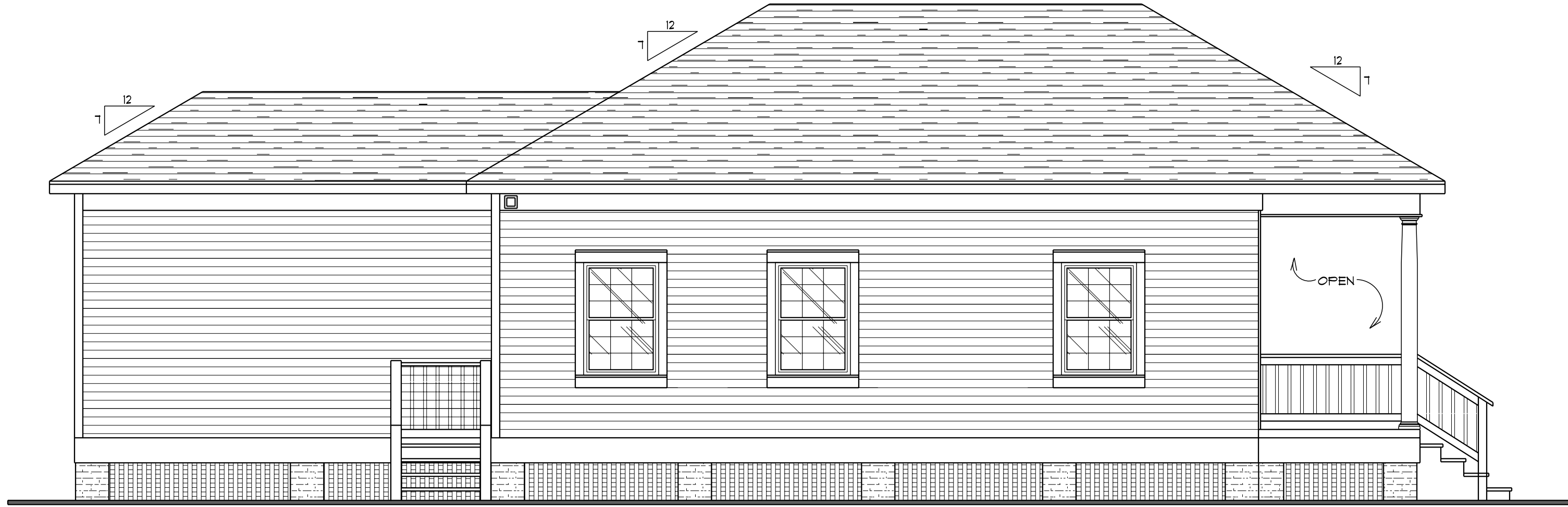
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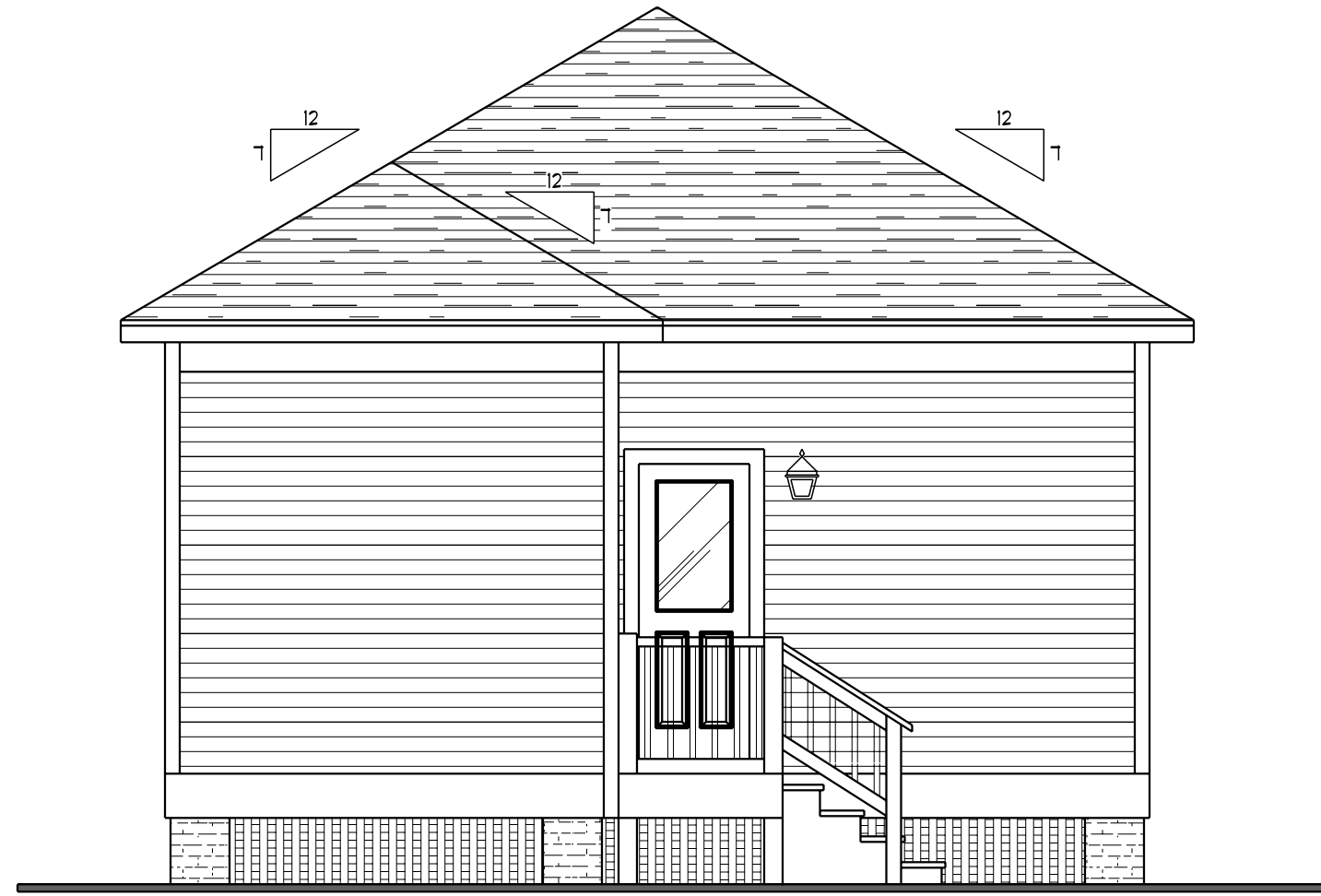
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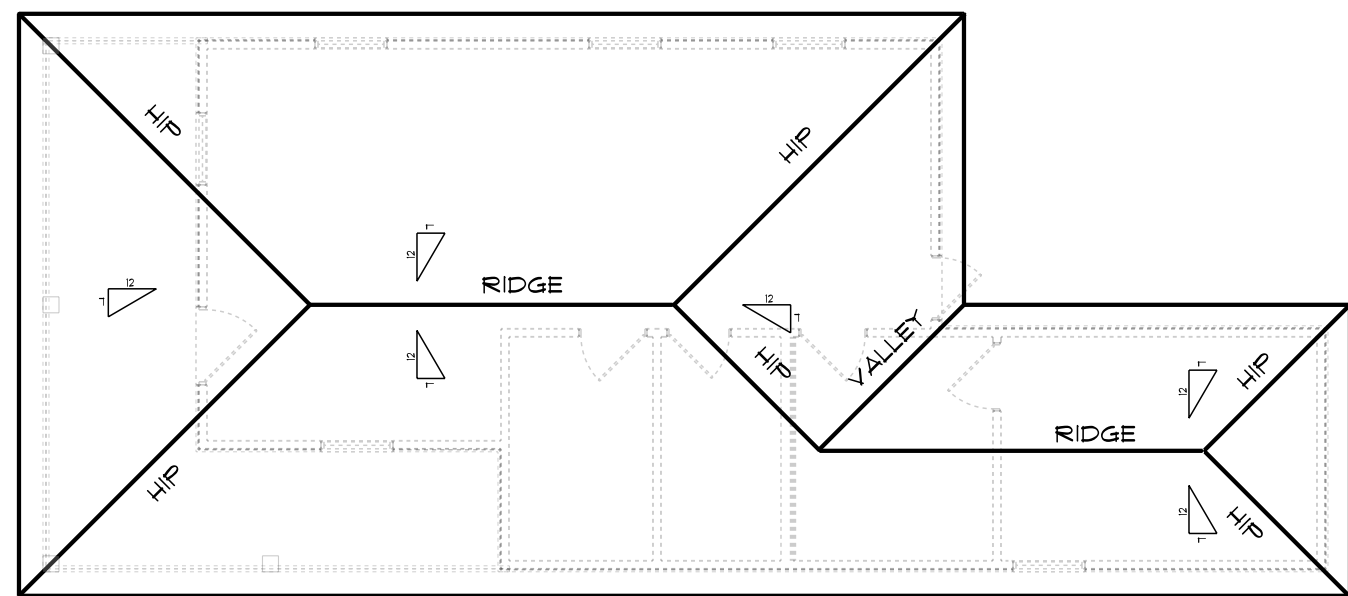
2 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



5 ROOF PLAN  
SCALE: 1/8" = 1'-0"

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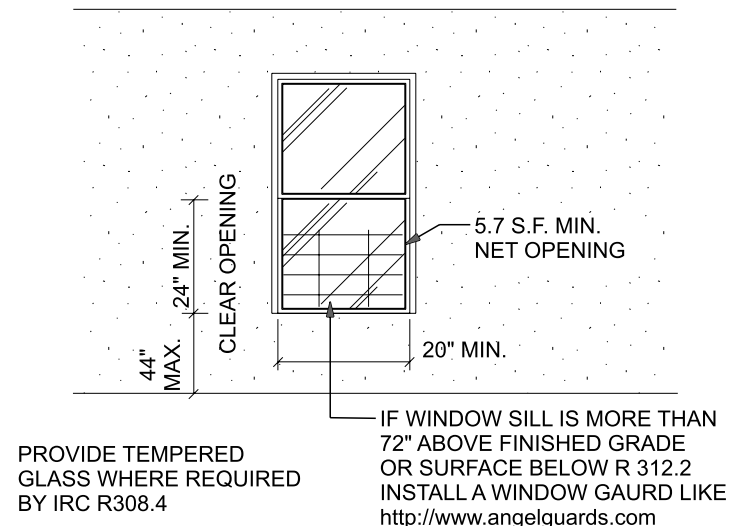


**EXTERIOR ELEVATIONS & ROOF PLAN**

CLIENT NAME :	MILLER
JOB NO. :	25-055
PLAN NO. :	-
DATE ISSUED:	28 MAR 24
DATE PLOTTED:	28 MAY 25
DRAWN BY :	Quinton Duncan
CHECKED BY :	Alan Duncan
SHEET No. :	A-2
SHEET	2 OF 4

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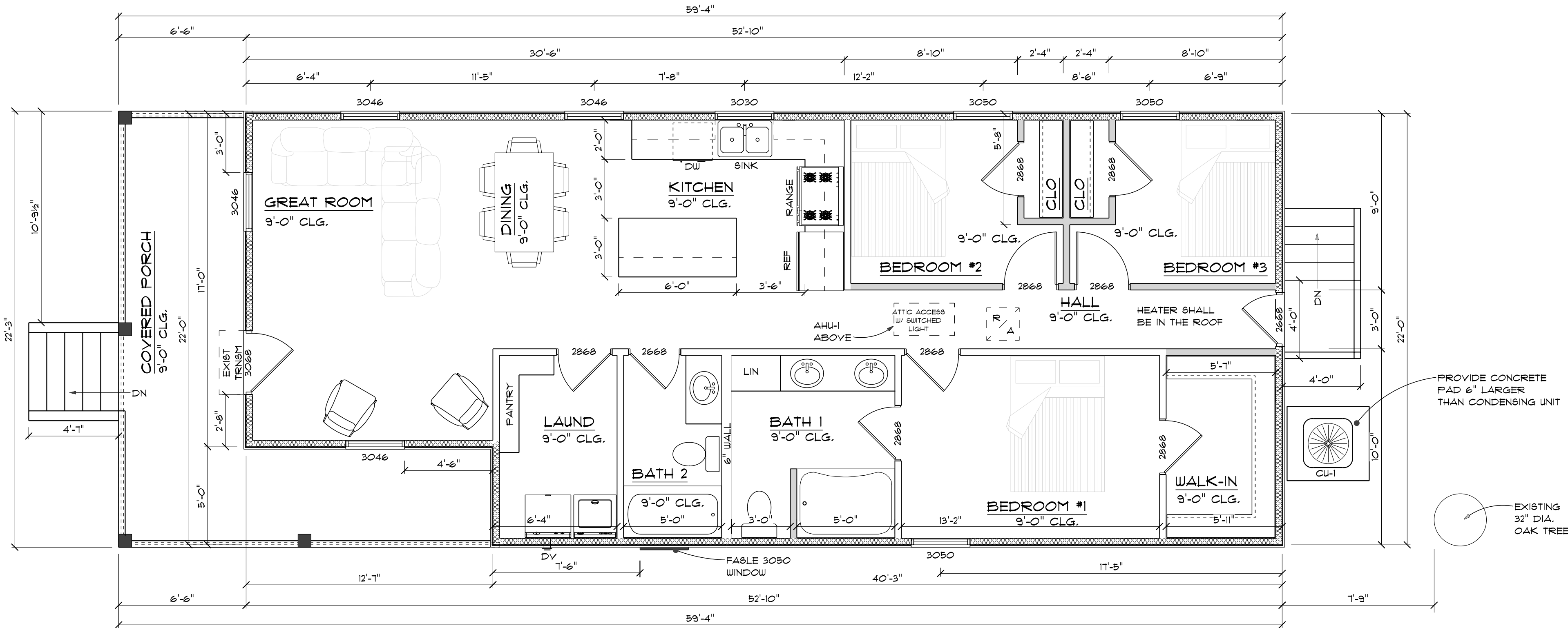
MINIMUM EGRESS OPENING SIZE  
SCALE: N.T.S.

1

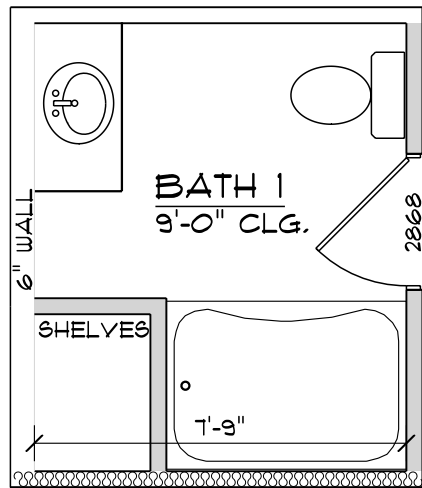
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE STRICTEST REQUIREMENTS OF THE LOCAL GOVERNING CODES INCLUDING THE NEC 2020, NFPA, AND THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (2021).
2. THE ELECTRICAL LAYOUT INDICATED IS PRELIMINARY AND SHALL BE CONFIRMED TO MEET THE REQUIREMENTS OF THE HOME OWNER AND BUILDER AND TO MEET ALL REQUIREMENTS OF THE LOCAL GOVERNING CODES. ANY CHANGES TO THE PRELIMINARY LAYOUT MUST BE IN STRICT COMPLIANCE WITH THE STRICTEST REQUIREMENTS OF THE LOCAL GOVERNING CODES.
3. SMOKE DETECTORS TO BE HARDWIRED INTERCONNECTED & HAVE MONITORED BATTERY BACKUP.
4. 220V OUTLET FOR DRYER SHALL BE GFI PROTECTED.
5. 110V OUTLET IN LAUNDRY ROOM SHALL BE GFI PROTECTED.
6. THE TOTAL NUMBER OF RECEPTACLES ON THE ISLAND/PENINSULA SHALL BE DETERMINED BY THE CHART IN THE 2020 NEC.
7. THE OUTLET FOR THE DISHWASHER CANNOT BE LOCATED BEHIND THE DISHWASHER.
8. THE GARAGE SHALL HAVE ITS OWN CIRCUIT.
9. THE SERVICE SHALL HAVE A MAIN BREAKER/DISCONNECT AND SURGE PROTECTION.
10. ANY 110V OR 220V RECEPTACLE WITHIN SIX FEET OF A WATER SOURCE SHALL BE GFI PROTECTED.

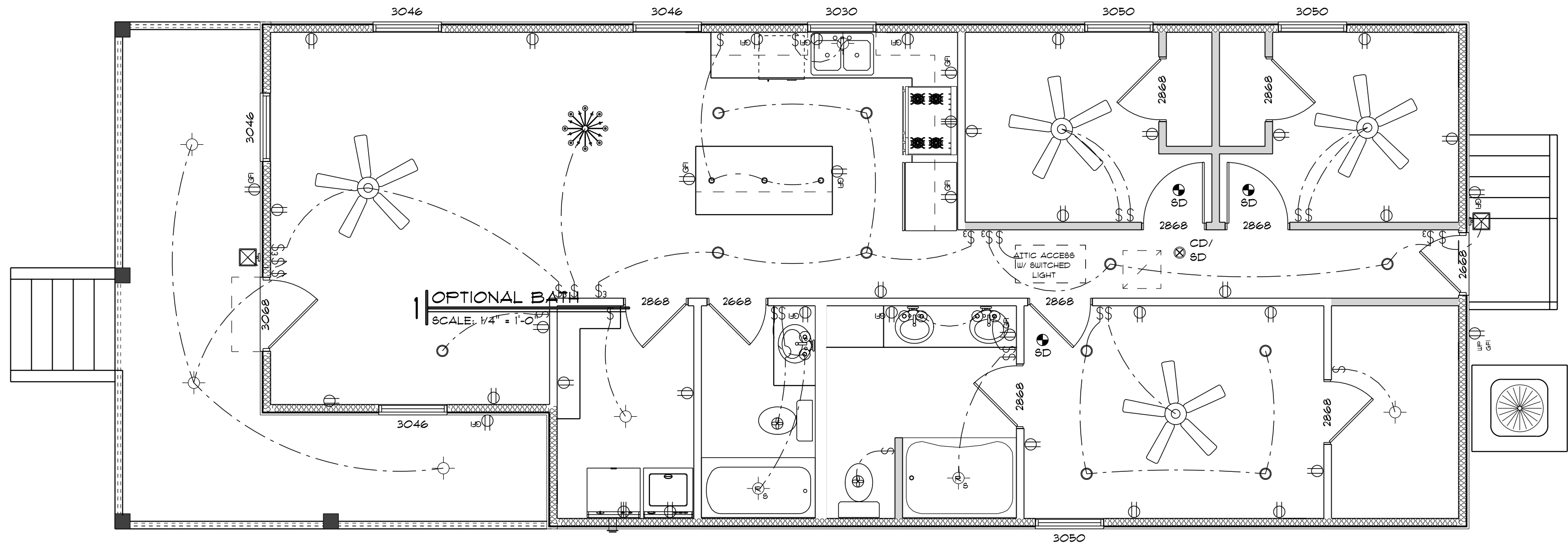
ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
Carbon Monoxide Smoke Detector Combo	1	⊗
ceiling classic	1	✽
ceiling fan 5 bladed 01	4	✽
dryer outlet 220v	1	⊕
exterior light 03	2	⊗
fan	2	⊕
LED - 6 inch	11	○
light	6	⊕
outlet	25	⊕
outlet gfi	13	⊕
Outlet gfi with waterproof cover	1	⊕
pendant cone	3	○
recessed light - Sealed	2	⊕
smoke detector	3	⊕
etove outlet 220v	1	⊕
switch	21	\$
switch 3 way	6	\$
wall mounted 05 2 lights	3	⊕



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"



SQUARE FEET SCHEDULE	
LIVING AREA	1,118
FRONT PORCH	205
REAR PORCH	-
GARAGE	-
TOTAL UNDER ROOF	1,323



PROPOSED ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

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904 TEXAS STREET  
**LOT 11, THE BERNOUDY TRACT**  
MOBILE, AL



PROPOSED FLOOR PLAN AND ELECTRICAL PLAN

CLIENT NAME : **MILLER**  
JOB NO. : **25-055**  
PLAN NO. : **-**  
DATE ISSUED: **28 MAR 24**  
DATE PLOTTED: **28 MAY 25**  
DRAWN BY : **Quinton Duncan**  
CHECKED BY : **Alan Duncan**

SHEET No. : **A-3**  
SHEET 3 OF 4

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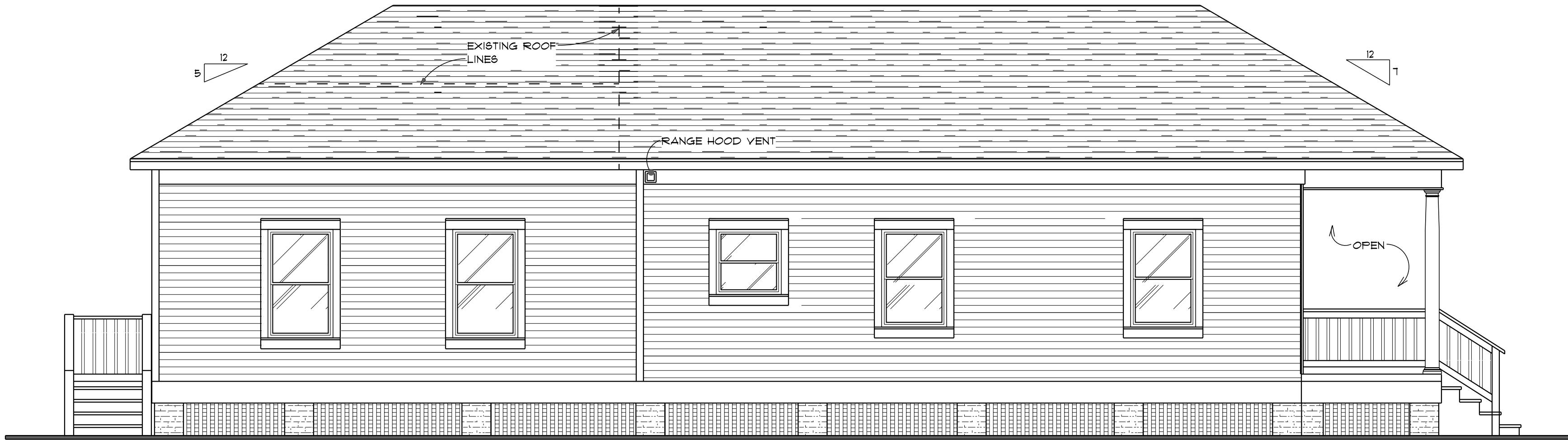
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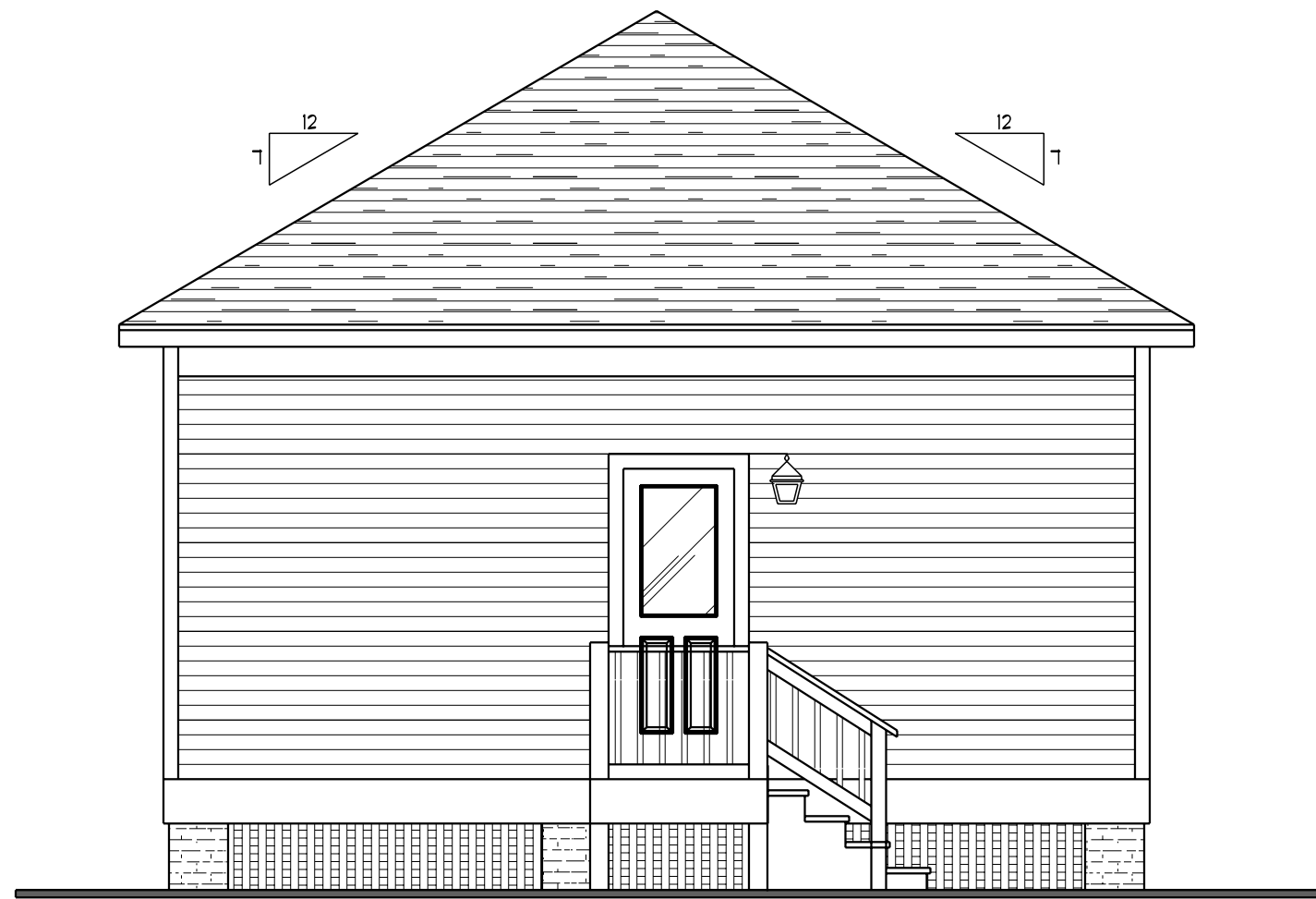
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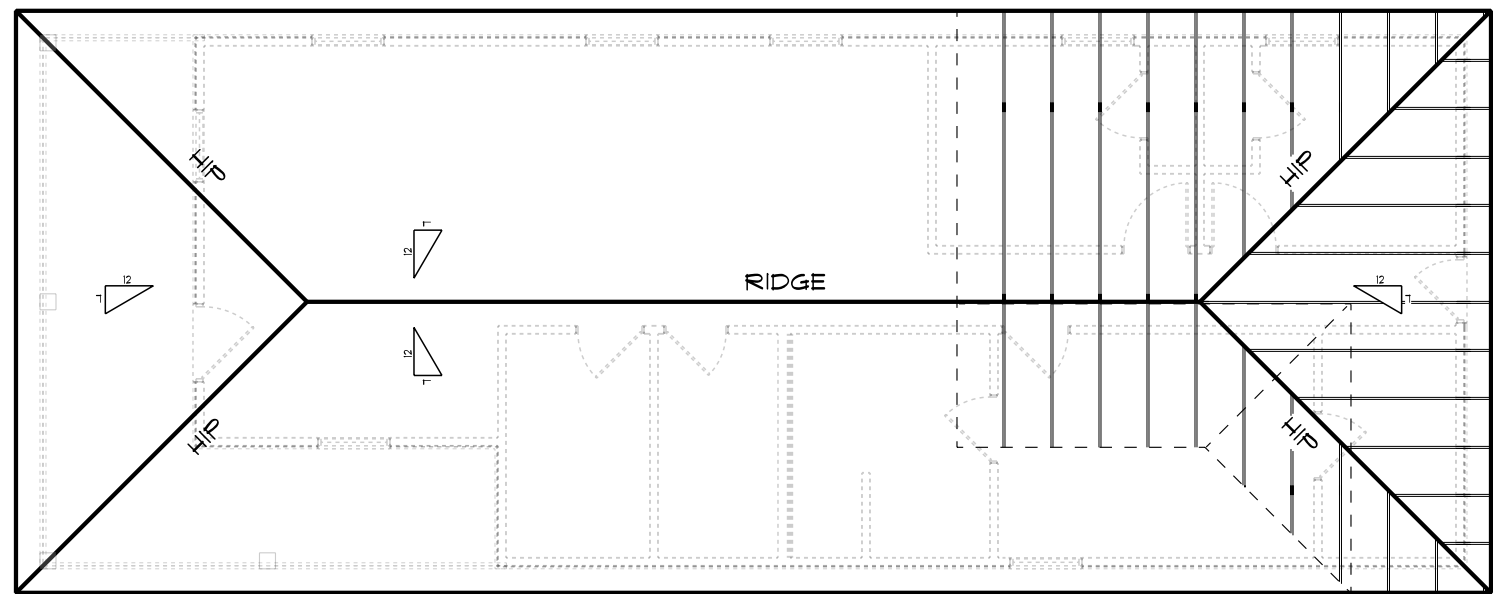
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3 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



5 ROOF PLAN  
SCALE: 1/8" = 1'-0"

- NOTES:
1. USE TYPE "H" SHINGLES.
  2. WINDOWS AND DOORS SHALL BE SEALED TO HOUSE WRAP.
  3. USE SYNTHETIC UNDERLAYMENT.
  4. PROVIDE FLASHING OR OVERLAP SHINGLES IN ALL VALLEYS.
  5. PROVIDE METAL DRIP EDGE AT ALL EAVES. SHINGLES SHALL EXTEND MINIMUM OF 1/2" FAST DRIP EDGE.
  6. PROVIDE ADDRESS \* ON FRONT OF HOUSE TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
  7. GARAGE DOOR SHALL BE RATED FOR ASCE 7-05, 3 SECOND GUST, 140 MPH. RATING SHALL BE VERIFIED AT TIME OF FINAL INSPECTION.
  8. INSTALL DOUBLE UNDERLAYMENT FOR ALL ROOF SLOPES LESS THAN 5/12.
  9. PROVIDE RIDGE VENTS AT A MINIMUM NET FREE AREA VENTILATION AREA OF 1/300 OF THE VENTED SPACE PER SECTION 806.2 IRC.

578 Azalea Rd., Ste 100  
Mobile, AL 36609  
Phone: 251-338-1242  
E-mail: info@yourhomedesign.net  
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904 TEXAS STREET  
LOT 11, THE BERNOUDY TRACT  
MOBILE, AL

PROPOSED EXTERIOR ELEVATIONS & ROOF PLAN

CLIENT NAME : MILLER

JOB NO. : 25-055

PLAN NO. : -

DATE ISSUED: 28 MAR 24

DATE PLOTTED: 28 MAY 25

DRAWN BY: Quinton Duncan

CHECKED BY: Alan Duncan

SHEET No. : A-4

SHEET 4 OF 4

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1 | EXISTING SITE PLAN  
SCALE: 3/16" = 1'-0"



2 | PROPOSED SITE PLAN  
SCALE: 3/16" = 1'-0"

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904 TEXAS STREET  
MOBILE, AL.

LOT 11, THE BERNOUDY TRACT

EXISTING AND PROPOSED SITE PLANS

CLIENT NAME : MILLER

JOB NO. : 25-055

PLAN NO. : -

DATE ISSUED: 28 MAR 24

DATE PLOTTED: 28 MAY 25

DRAWN BY : Quinton Duncan

CHECKED BY : Alan Duncan

SHEET No. : A-5

SHEET 5 OF 4



## Architectural Review Board

Mobile Historic Development Commission  
City of Mobile  
200 Government Street, Second Floor  
Mobile, AL 36602

### PERMIT NUMBER

**MHDC-146368-2024**

Issue Date: 01/07/2025

## MHDC - Certificate of Appropriateness Building/Site COA

Parcel Number	Street Address	Jurisdiction
R022910380002066.01	904 Texas St	Oakleigh

Owner Information	Applicant Information	Contractor Information
Name: Company: Address:  Phone:	Name: Randle J. Miller Company: Address: 3824 Leroy Stevens Rd Mobile, AL 36619  Phone: (601) 259-1543	Name: Company: Address:  Phone:  Lic No:                      Lic Exp:

Project Cost
\$85,000.00

Project Description
<ol style="list-style-type: none"><li>1. Replace siding on east, west, and north elevations with Hardie siding to match the profile of existing wood siding.</li><li>2. Remove existing wood siding on south façade to repair/replace OSB and underlayment. Replace wood siding after repairs. If siding cannot be replaced due to deterioration, replace with new wood siding to match existing.</li><li>3. Fill in rear window opening with siding to match existing.</li><li>4. Level and stabilize foundation. Install foundation infill to match existing where missing.</li><li>5. Reroof with architectural shingles. Color: Slate.</li><li>6. Replace all windows with one-over-one aluminum-clad wood windows that match existing in dimension and profile. New windows will fit existing openings, with the exception of the window on the north end (rear) of the east elevation. The non-original window opening at this location will be enlarged to match the size of all other windows.</li><li>7. Replace front and rear entry doors with pane-and-panel door to fit existing openings. Replace four-light transom above front entry door in-kind.</li><li>8. Repaint exterior with Sherwin Williams paint in the following colors: Body - Light Blue Trim- Extra White</li></ol>

THIS CERTIFICATE MUST BE POSTED PROMINENTLY ON THE SITE, AND ONLY WORK ITEMIZED ON THIS CERTIFICATE MAY BE UN  
NEW application must be submitted for CHANGES to the approved plan. APPROVALS ARE VALID FOR ONE YEAR, and separate BUILDING  
may be required.

  
Signature of Approving Official

PREVIOUSLY APPROVED SOW (ADMIN COA)

City of Mobile, PO Box, 1827 Mobile, AL 36633-1827

Telephone: 251.208.7281

Fax: 251.208.7968