



Agenda Item #1

Application 2026-32-CA

DETAILS

Location:

804-806 Dauphin Street

Summary of Request:

Construct a two-story four-unit multi-family structure.

Applicant (as applicable):

Douglas Kearley

Property Owner:

Sarah Watkins

Historic District:

Lower Dauphin Commercial District

Classification:

Vacant lot

Summary of Analysis:

- The proposed setbacks, side yard spacing, massing, scale, and design generally comply with the *Guidelines*.
- The rhythm of solid-to-void created by the proposed fenestration patterns along the side elevations is consistent with traditional building practices in the district.
- Applicant proposes conceptual plans including location of structure, massing, and materials.
- The property is located within the Downtown Development district. An application has been submitted to the Consolidated Review Committee (CRC).

Report Contents:

Property and Application History 2

Scope of Work 2

Applicable Standards 3

Staff Analysis 7

Attachments 9

PROPERTY AND APPLICATION HISTORY

Lower Dauphin Street Commercial Historic District was initially listed in the National Register in 1979 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of commerce and architecture. The district is significant for its unique character stemming from the high concentration of closely spaced two- and three-story brick buildings and as Mobile's nineteenth century commercial thoroughfare. The district boundaries were expanded in 1982, 1995, 1998, and 2019.

The properties at 804 and 806 are currently adjoining vacant lots. The two lots first appear on the on the 1885 Sanborn Fire Insurance map where the addresses are listed 2310 and 2308 Dauphin respectively. Both lots were occupied by single story dwellings featuring full width porches. The 1891 Sanborn Map shows similar structures on the parcels; however, the addresses were changed to 804 and 806 Dauphin. The 1925 Sanborn Map shows new construction has occurred, the previous single-story dwellings have been replaced by two-story dwellings. On this overlay 806 Dauphin has a full width one-story front porch, and 804 Dauphin has a full width two-story front porch. The updated 1955 Sanborn shows 804 Dauphin largely unchanged with 806 Dauphin featuring a two-story full width front porch. No documentation was found stating the date of demolition of these structures, but historic aerials show that 804 Dauphin was demolished sometime between 1960-1967 and 806 Dauphin was demolished sometime between 1980-1985.

According to Historic Development records, neither property has appeared before the Architectural Review Board.

SCOPE OF WORK

1. Construct a two-story four-unit apartment house.
 - a. Setbacks:
 - 1) South (front): 28'-4"
 - 2) West: 32'-0"
 - 3) East: 16'-0"
 - 4) North (rear): 11'-0"
 - b. Overall dimensions:
40'-4 " W x 62'-8" D x 33'-6" H
 - c. Foundation:
Masonry faced raised concrete slab with split face CMU. Foundation to be painted.
 - d. Wall cladding:
 - 1) Smooth Hardie 5" lap siding
 - 2) Horizontal banding to distinguish the first and second floors.
 - e. Roof: Dutch gabled/gable on hip roof clad in architectural shingles.
 - 1) Two hip roof projections over two-story porches that flank the entrance on south façade
 - 2) One hip roof projection on north(rear) elevation over two-story porch centered on structure.
 - f. First-floor height above grade: 2'-4"
 - g. Ceiling heights:
 - 3) First Floor: 10'-0"
 - 4) Second Floor: 10'-0"
 - h. Windows:
Aluminum-clad six-over-six sash windows of varying dimensions
 - i. Doors:
Front entry door: Single multi-lite door with side-lites and fan transom underneath awning.
South façade porch doors: multi-lite French doors underneath multi-lite transom.
 - j. South Façade:

- 1) The façade would consist of three bays, with a central single-story terrace flanked by two story porches measuring 13'3" W x 8'0" D.
 - 2) The four porches would each be supported by two 10" cast stone heavy square columns. A metal railing would be installed to enclose the four porches.
 - 3) Four brick steps would access the terrace across from the front entry door.
 - 4) A double six-over-six aluminum-clad window would be centered on the second floor.
 - 5) Four multi-lite French doors would access each of the four porches.
- k. North elevation (rear):
- 1) Centered two-story landing supported by two 6" tube columns.
 - 2) Each level will have a single multi-lite door to access the landings.
 - 3) Each level will have two six-over-six aluminum clad windows flanking the central landing.
 - 4) A.C. units to be located adjacent to rear elevation.
- l. West elevation:
- 1) Each level (read from north to south): full sized six-over-six aluminum clad window, partial size six-over-six aluminum clad window directly south, centered partial sized six-over-six aluminum clad window, and two six-over-six aluminum clad windows.
- m. East Elevation
- 1) Each level (read from south to north): full sized six-over-six aluminum clad window, partial size six-over-six aluminum clad window directly south, centered partial sized six-over-six aluminum clad window, and two six-over-six aluminum clad windows.
2. Parking Area
- 1) Entrance to parking area is situated to the west of the structure and will have 8 parking spots.
 - 2) The exit from the parking area will loop behind the building and end at Dauphin Street to the east of the structure.
3. Site improvements
- 1) Dumpster and fenced enclosure to the northwest of the structure.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

- 6.34 Maintain the visual line created by the fronts of buildings along a street.
 - Where front yard setbacks are uniform, place a new structure in general alignment with its neighbors.
 - Where front yard setbacks vary, place a new structure within the established range of front yard setbacks on a block.
- 6.35 Maintain the side yard spacing pattern on the block.
 - Locate a structure to preserve the side yard spacing pattern on the block as seen from the street.
 - Provide sufficient side setbacks for property maintenance.
 - Provide sufficient side setbacks to allow needed parking to occur behind the front wall of the house.
- 6.36 Design the massing of new construction to appear similar to that of historic buildings in the district.
 - Choose the massing and shape of the new structure to maintain a rhythm of massing along the street.
 - Match the proportions of the front elevations of a new structure with those in the surrounding district.
- 6.37 Design the scale of new construction to appear similar to that of historic buildings in the district.
 - Use a building height in front that is compatible with adjacent contributing properties.
 - Size foundation and floor heights to appear similar to those of nearby historic buildings
 - Match the scale of a porch to the main building and reflect the scale of porches of nearby historic buildings
- 6.38 Design exterior building walls to reflect traditional development patterns of nearby historic buildings.
 - Use a ratio of solid to void that is similar in proportion to those of nearby historic buildings.

- Reflect the rhythm of windows and doors in a similar fashion on all exterior building walls. The ARB will consider all building walls; however, building walls facing streets may face increased scrutiny.
- Use steps and balustrades in a similar fashion as nearby historic structures.
- Design building elements on exterior building walls to be compatible with those on nearby historic buildings. These elements include, but are not limited to:
 - Balconies
 - Chimneys
 - Dormers
- 6.39 Use exterior materials and finishes that complement the character of the surrounding district.
 - Use material, ornamentation or a color scheme that blends with the historic district rather than making the building stand out.
 - If an alternative material is used that represents an evolution of a traditional material, suggest the finish of the original historic material from which it evolved.
 - Use a material with proven durability in the Mobile climate and that is similar in scale, character and finish to those used on nearby historic buildings.

ACCEPTABLE MATERIALS

- Materials that are compatible in character, scale and finish to those used on nearby historic buildings are acceptable. These often include:
 - Stucco
 - Brick
 - Stone
 - Wood (lap siding, shingles, board and batten)
 - Concrete siding
 - Cement fiber board siding
 - Skim stucco coat

UNACCEPTABLE MATERIALS

- Materials that are incompatible in character, scale and finish to those used on nearby historic buildings are unacceptable. These often include:
 - Metal siding
 - Vinyl siding
 - Unfinished concrete block
 - Plywood
 - Masonite
 - Vinyl coatings
 - Ceramic coatings
 - Exterior insulation and finishing system (EIFS) wall systems
- 6.40 Design a roof on new construction to be compatible with those on adjacent historic buildings.
 - Design the roof shape, height, pitch and overall complexity to be similar to those on nearby historic buildings.
 - Use materials that appear similar in character, scale, texture and color range to those on nearby historic buildings.
 - New materials that have proven durability may be used.

ACCEPTABLE ROOF MATERIALS

- Materials that are similar in character, scale, texture and color range to those used on nearby historic buildings are acceptable. These often include:
 - Asphalt dimensional or multi-tab shingles
 - Wood shake or shingle
 - Standing seam metal
 - Metal shingles
 - 5-V crimp metal
 - Clay tile

- Imitation clay tile or slate
- 6.41 Design a new door and doorway on new construction to be compatible with the historic district.
 - Place and size a door to establish a solid-to-void ratio similar to that of nearby historic buildings.
 - Place a door in a fashion that contributes to the traditional rhythm of the district as seen in nearby historic buildings.
 - Incorporate a door casement and trim similar to those seen on nearby historic buildings.
 - Place and size a special feature, including a transom, sidelight or decorative framing element, to complement those seen in nearby historic buildings.
 - Use a door material that blends well with surrounding historic buildings. Wood is preferred. Paneled doors with or without glass are generally appropriate.
- 6.42 Design a porch to be compatible with the neighborhood.
 - Include a front porch as part of new construction if it is contextual and feasible.
 - When designing a porch, consider porch location, proportion, rhythm, roof form, supports, steps, balustrades and ornamentation relative to the main building and porches in the district.
 - Design the elements of a porch to be at a scale proportional to the main building.
 - Where a rhythm of porches exists on a street or block, design a porch that continues this historic rhythm.
 - Design a rear or side porch that is visible from the public right-of-way to be subordinate in character to the front porch.
- 6.43 Design piers, a foundation and foundation infill to be compatible with those of nearby historic properties.
 - Use raised, pier foundations.
 - If raised foundations are not feasible, use a simulated raised foundation.
 - Do not use slab-on-grade construction. This is not appropriate for Mobile's historic neighborhoods. If a raised slab is required, use water tables, exaggerated bases, faux piers or other methods to simulate a raised foundation.
 - Do not use raw concrete block or exposed slabs.
 - If foundation infill must be used, ensure that it is compatible with the neighborhood.
 - If solid infill is used, recess it and screen it with landscaping.
 - If lattice is used, hang it below the floor framing and between the piers. Finish it with trim.
 - Do not secure lattice to the face of the building or foundation.
 - Do not use landscaping to disguise inappropriate foundation design.

ACCEPTABLE FOUNDATION MATERIALS

- Materials that are similar in character, texture and durability to those used on nearby historic buildings are acceptable. These often include:
 - Brick piers
 - Brick infill
 - Wood (vertical pickets)
 - Framed lattice infill

UNACCEPTABLE FOUNDATION MATERIALS

- Materials that are not similar in character, texture and durability to those used on nearby historic buildings are unacceptable. These often include:
 - Mineral board panels
 - Concrete block infill
 - Metal infill
 - Plywood panel infill
 - Plastic sheeting infill
 - Vinyl sheeting infill
- 6.45 Locate and design windows to be compatible with those in the district.
 - Locate and size a window to create a solid-to-void ratio similar to the ratios seen on nearby historic buildings.

- Locate a window to create a traditional rhythm and a proportion of openings similar to that seen in nearby historic buildings.
- Use a traditional window casement and trim similar to those seen in nearby historic buildings.
- Place a window to match the height of the front doorway.
- Place a window so that there is proportionate space between the window and the floor level.
- Do not place a window to directly abut the fascia of a building.
- Use a window material that is compatible with other building materials.
- Do not use a reflective or tinted glass window.
- Use a 1/1 window instead of window with false muntins. A double paned window may be acceptable if the interior dividers and dimensional muntins are used on multi-light windows. A double paned 1/1 window is acceptable.
- Do not use false, interior muntins except as stated above.
- Recess window openings on masonry buildings.
- Use a window opening with a raised surround on a wood frame building.

ACCEPTABLE WINDOW MATERIALS

- Materials that are similar in character, profile, finish and durability to those used on nearby historic buildings are acceptable. These often include:
 - Wood
 - Vinyl-clad wood
 - Aluminum-clad customized wood
 - Extruded Aluminum

UNACCEPTABLE WINDOW MATERIALS

- Materials that are not similar in character, profile, finish and durability to those used on nearby historic buildings are unacceptable. These often include:
 - Mill finish metal windows
 - Snap-in or artificial muntins
 - Vinyl

- 6.46 Design shutters and awnings to be compatible with the building.
 - Use a shutter that fits the reveal of a window opening precisely.
- 6.47 Design shutters and awnings to be compatible with the district.
 - Use operable blinds or shutter units hung with hinges.
 - When using artificial materials, use a blind or shutter unit that has a thickness, weight and design similar to wood. An artificial material shutter will be considered on a case-by-case basis.
 - Use an operable shutter where feasible.
 - Where a blind or shutter is fixed, hang them on a window casing in a manner to replicate an operable shutter.
 - If a synthetic awning is used, use one with a textured surface. Do not use an awning with a smooth vinyl surface.

ACCEPTABLE SHUTTER AND AWNING MATERIALS

- Materials that are similar in character, texture and durability to those used on nearby historic buildings are acceptable. These often include:
 - Louvered or solid panel wood (shutter)
 - Louvered or solid panel composite
 - Fabric (awning)

UNACCEPTABLE SHUTTER AND AWNING MATERIALS

- Materials that are not similar in character, texture and durability to those used on nearby historic buildings are unacceptable. These often include:
 - Lightweight plastic (shutter)
 - Metal (awning)
- 10.5 Visually connect the street and building.
 - Maintain or install a walkway leading directly from the sidewalk to the main building entry.
- 10.7 Minimize the visual impact of parking.

- Locate a parking area at the rear or to the side of a site whenever possible.
- Use landscaping to screen a parking area.
- Minimize the widths of a paved area or a curb cut.
- If a curb cut is no longer in use, repair the curb. In some areas, granite curbs may be required.
- Do not use paving in the front yard for a parking area. Paving stones might be acceptable in certain instances.
- Do not create a new driveway or garage that opens onto a primary street.

ACCEPTABLE WALK AND PAVING MATERIALS

- Materials that have a similar character, durability and level of detail to walks and paved areas associated with historic properties in the district are acceptable. These often include:
 - Gravel or crushed stone
 - Shell
 - Brick
 - Cobblestone
 - Grasspave or grasscrete (mix of grass and hard surface paving material that provides a solid surface)
- 10.10 Provide a landscaped front yard for a residential property in a historic district.
 - Maintain a predominant appearance of a planted front yard/lawn.
 - Minimize paved areas in a front yard.
 - Consider using decorative modular pavers, grass and cellular paving systems in order to minimize the impact of hard surface paving where grass or other plant materials are not used.
 - In commercial areas, consider using landscaping to screen and soften the appearance of surface parking areas. Use an internal and perimeter landscaping treatment to screen a fenced or walled parking area.
 - Do not use landscaping to hide a design feature that is inconsistent with these Design Review Guidelines.

STAFF ANALYSIS

The subject property is a vacant lot located in the Lower Dauphin Commercial District. The application under review seeks approval to construct a two-story four-unit apartment house on the lots, 804 and 806 Dauphin Street.

New residential construction requires the consideration of placement, mass, scale, and building components such as design, features, and materials. The subject application is a conceptual plan, fenestrations and materials have not been finalized at this stage.

With regard to placement, two elements are taken into account – setback from the street and distance between building. *The Guidelines for New Residential Construction* state that new buildings should be responsive to and maintain the alignment of traditional façade lines (6.34), as well as the rhythm of side and rear setbacks (6.35). The subject property is located adjacent to/in the vicinity of contributing buildings. In accord with *Design Guidelines*, the setbacks reflect the historical character of the contributing aspects of the built landscape. The proposed placement creates front and side setbacks that are within the established ranges of nearby contributing structures on Dauphin Street and N Bayou Street.

The *Design Review Guidelines* state that mass - the relationship of the parts of the larger whole comprising a building - for new construction should be in keeping with arrangement and proportion of surrounding historic residences (6.36). The outward massing of the building, a rectangular block with advancing two-level porch projections to the front and one balcony projection to the rear, is similar to

massing found in the neighborhood and recalls the massing of the two-story building previously occupying the lots. (6.40) The proposed structure reflects elements seen at contributing multi-family structures, namely 1010 Dauphin Street and 1006 Government Street. The proposed two-story design is consistent in massing, proportions, and heights with surrounding historic structures. (6.36, 6.37)

The decorative elements and design details proposed for the subject structure such as the gable over hipped roof, central multi-lite entry door, front porches, six-over-six windows, etc. attempt to lend respect to the traditional styles and to the character of the district. The details featured on the proposed building are more restrained in design and ornamentation than those seen along the street and further afield within the district.

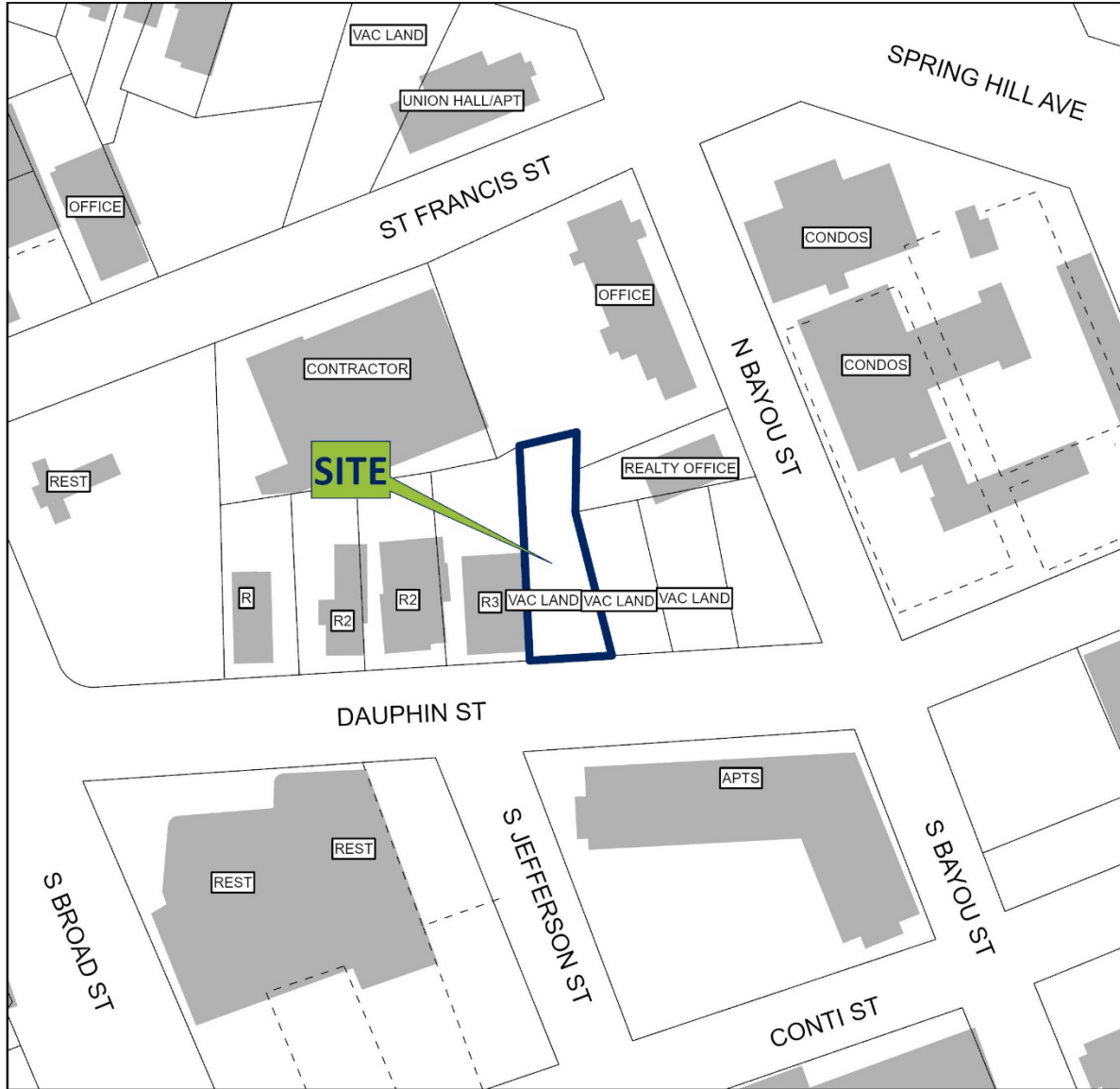
The proposed materials of fiber cement siding, architectural shingles, aluminum-clad wood windows, and wood doors, are acceptable for new construction under the *Guidelines*. Further, many of the multi-family homes seen in the surrounding areas demonstrate similar roof designs and fenestrations. The submitted design would uphold these traditions, as the *Guidelines* advise. However, the proposed split face CMU would be a deviation from the foundation finishes seen on surrounding contributing structures.

The proposed height of the structure would fall into the range that has been established in the vicinity. The fenestration patterns proposed are in concept only but would be respectful of the surrounding historic structures. (6.38- 6.47)

The *Guidelines* call for the visual impact of parking to be minimized (10.7). The proposed parking area to the west of the structure would be visible from the ROW. However, parking will be to the side of the proposed structure and the first parking spot sits behind the front plane of the structure. The *Guidelines* provide that in commercial areas landscaping can be used to screen or soften parking areas (10.10). At this stage, no landscaping plan has been submitted. Additionally, the proposed site plan includes a sidewalk connecting the street to the structure (10.5).

Site Location – 806 Dauphin Street

**ARCHITECTURAL REVIEW BOARD
VICINITY MAP**



APPLICATION NUMBER <u>1</u>	DATE <u>6/3/2026</u>	
APPLICANT <u>Douglas Kearley</u>		
PROJECT <u>Construct a two-story four-unit multi-family structure</u>		

Site Photos – 806 Dauphin Street



1. View of subject lot, looking N.



2. View of subject lot, looking NE.



4. View of 808 Dauphin Street (to the W of subject lot).



4. View of 7 N Bayou Street (north of subject lot).



5. View of 1010 Dauphin Street (example of similar massing).



6. 1006 Government Street (example of similar massing)

Architectural Review Board Application For Proposed Work in Mobile's Historic Districts

Date of Application: _____ Date Received: _____

Address of Property **806 Dauphin Street** _____

Cost of Project (Required): \$950,000 Fee Paid: \$ _____ Check #: _____

<p>Name of Owner: Sarah Watkins</p> <p>Owner's Address: _____</p> <p>Owner's Email: _____ Owner's Telephone: _____</p> <p>Other Contact Information: _____</p>

<p>Owner's Representative Name: Douglas Kearley</p> <p>Business Name Douglas Burtu Kearley, Architect, Inc.</p> <p>Address: _____</p> <p>Email: _____ Telephone: _____</p> <p>Other Contact Information: mobile _____</p>
--

3. Describe the Proposed Work: Construct a 2 story 4 unit apartment house. Foundation to be masonry face raised concrete slab, roof to be gable ion hip with dimensional shingles. Exterior walls to be ICF with James Hardie lap siding. Exterior cladding. Windows to be aluminum clad wood. Rear porch to be steel. Paving to be gravel or other pervious paving. Units will have a small dumpster with fence enclosure.

SEE NEXT PAGE

Does the work involve demolition of a structure? No Yes, attach a Demolition Application.

Does the proposed work involve signage? No Yes, attach a Sign Application.

Will the proposed work require the removal of any trees from the site? No Yes

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

- **Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,**
- **Also attach one set of photographs to the application.**
- **If available, electronic plans should also be submitted as a TIFF or PDF.**

A \$15 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following Checklist for requirements for specific work items to be performed. Refer to the Review Board Guidelines for assistance with appropriate treatment for structures in Mobile's Historic Districts. Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Unless an applicant asks the staff to review an application upon submittal, the application will not be examined until after the agenda deadline. Any incomplete applications may be held until all information is submitted.

Staff Reports: The MHDC Staff will review your application and generate reports that will be placed with the agenda on the web site one week before the meeting. These may be found at <http://www.mobilehd.org/meetings.php>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the MHDC.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

SEE NEXT PAGE

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

- **For demolition of existing structures, either historic or non-historic, submit a Demolition Application.**
- **For Signage Requests, submit a Sign Application.**
- **For removal of trees, contact the Urban Forester.**

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA Use the Following Checklist to Ensure a Complete Application
Complete each box that applies

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

- 1. One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. Square footage of the original building with square footage of all additions including the proposed addition;
 - d. A drawing, with dimensions, of all affected exterior elevations;
 - e. Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. Paint samples and plan keyed to location of each color. (See below)
- 2. Photographs of the subject property to be worked on and surrounding buildings are required.**
 - Subject Property photographs
 - Surrounding Buildings photographs

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. Elevation drawings
2. Floor plans
3. Photographs of each face of the building to be renovated with details of the areas of work.

SEE NEXT PAGE

EXTERIOR PAINTING

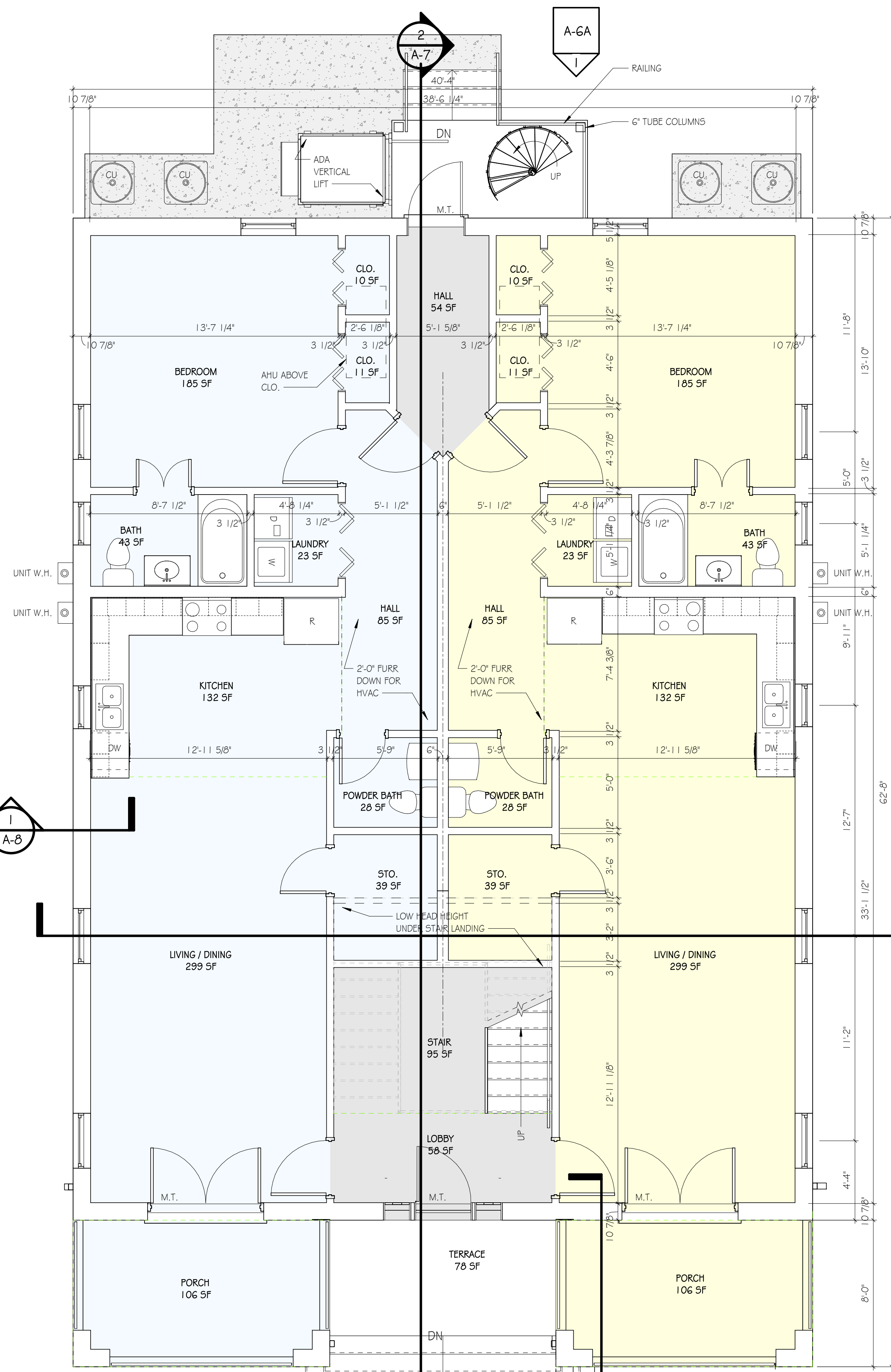
Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

- _____ Manufacturer
- _____ main body color
- _____ trim or decorative features
- _____ porch deck

_____ accent areas: lattice, shutters, etc.

_____ other areas

SEE NEXT PAGE



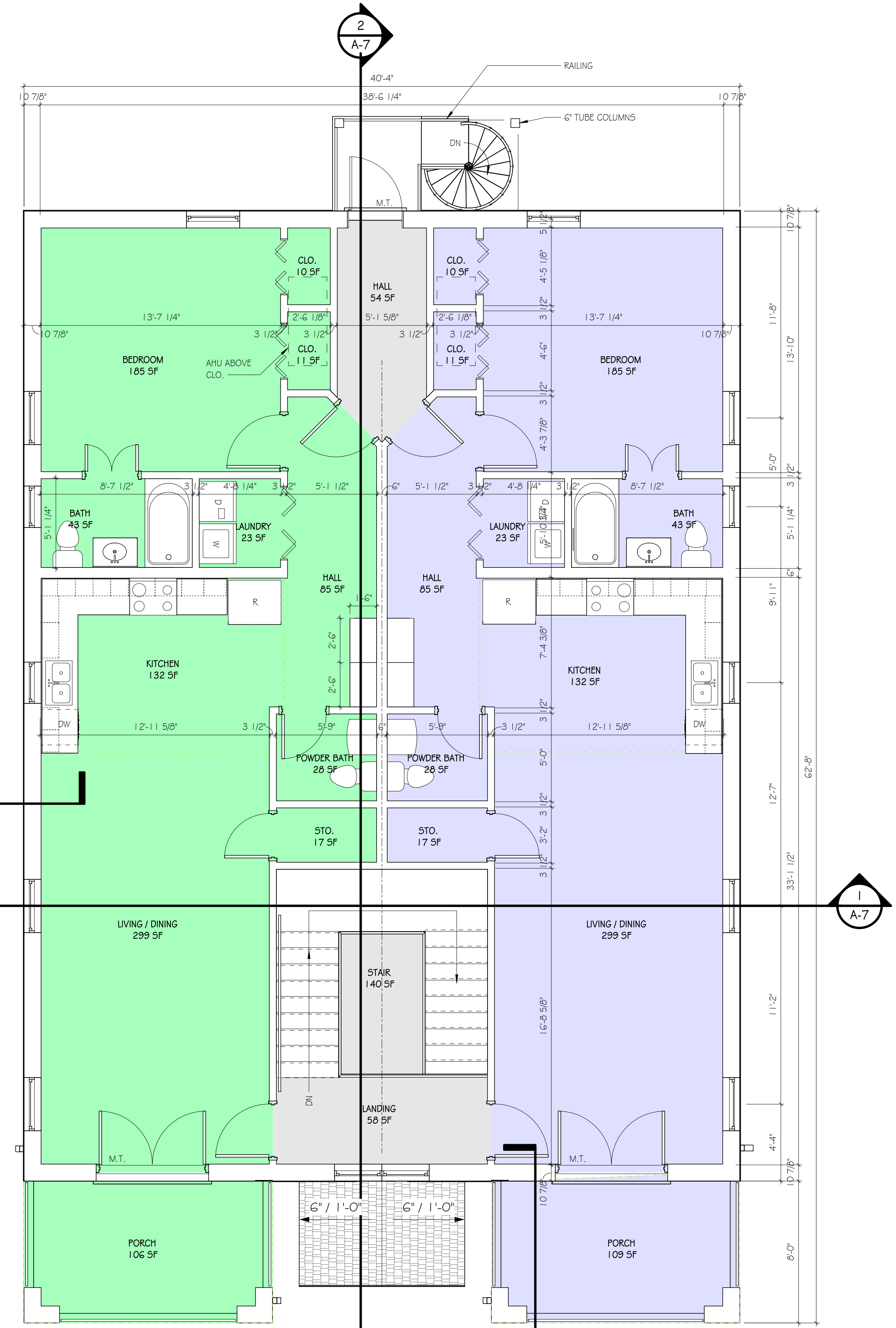
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Planning Legend

- COMMON
- UNIT 1
- UNIT 2

GROSS AREA	
FIRST FLOOR	2,448
SECOND FLOOR	2,448
TOTAL GROSS S.F.	4,896

NET PROGRAMMING		
LEVEL	AREA	DEPARTMENT
COMMON		
FIRST FLOOR	285 SF	COMMON
SECOND FLOOR	252 SF	COMMON
	537 SF	
UNIT 1		
FIRST FLOOR	960 SF	UNIT 1
SECOND FLOOR	960 SF	UNIT 1
	1,920 SF	
UNIT 2		
FIRST FLOOR	960 SF	UNIT 2
SECOND FLOOR	960 SF	UNIT 2
	1,920 SF	



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Planning Legend

- COMMON
- UNIT 3
- UNIT 4

NET PROGRAMMING		
LEVEL	AREA	DEPARTMENT
UNIT 3		
SECOND FLOOR	939 SF	UNIT 3
	939 SF	
UNIT 4		
SECOND FLOOR	942 SF	UNIT 4
	942 SF	
Grand total	4,338 SF	

Douglas B. Kearley, Architect, Inc.
Ten Wisteria Avenue
Mobile, Alabama 36607
Telephone: 251-473-7553

LUCE APARTMENTS 4 PLEX
804-806 DAUPHIN STREET
MOBILE, AL 36602

FILE NO:	2517
DWG BY:	HEUBACH
REVISIONS:	
ISSUE DATE:	[ISSUE DATE]

SHEET NO:
A-2
FLOOR PLANS

