



Agenda Item #1

Application 2026-14-CA

DETAILS

Location:

555 Government Street

Summary of Request:

Alterations to existing fenestration, construction of new galleries, and stucco brick on the existing lobby addition on north facade

Applicant (as applicable):

Paul Davis/PCDA

Property Owner:

Varsha Patel

Historic District:

Church Street East

Classification:

Non-Contributing

Summary of Analysis:

- Fenestration changes mainly concentrated along the north façade use approvable materials and seek to retain the character of the façade”
- Proposed new galleries along north façade do not disrupt the existing cornice line and reflect the style of existing railings along the inner court.
- This project has been reviewed by the CRC

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PROPERTY AND APPLICATION HISTORY

Church Street East Historic District was initially listed in the National Register in 1971 under Criteria A (historic significance) and C (architectural significance) for its local significance in the areas of architecture, education, and urban planning. The district is significant for its concentration of multiple 19th century architectural styles and because it encompasses the site of Mobile in the early 1700s. The district boundaries were expanded in 1984 and 2005.

The building at 555 Government street is a concrete-block commercial building faced with brick. The building is primarily a two-story U-shaped motor court hotel with a later one-story wing partially closing off the entrance to the central parking area. The building is typical of the mid-20th Century Colonial Revival style that grew out of increasing national feelings of nostalgia and patriotism during and immediately after World War II. The red facing brick, half-pedimented gable ends, classical entablature, and multi-lite sash and picture windows are highly indicative of the Colonial Revival style.

first appears in the 1941 City Directory as Terry Moore Apartments. Based on the numbering of the apartment units from 9 to 18, it appears that the complex was only partially completed at this time. On the 1955 Sanborn Map, it appears as a 35-unit motel called the Downtown Hotel Court. At the time, the property consisted of two two-story concrete-block buildings faced with brick. The buildings ran parallel to Cedar Street with a motor court between them. Each building featured a two-story gallery overlooking the central motor court. The single-story north and two-story wings did not exist at this time. Post cards dating to about 1958 and 1960 show a U-shaped structure with the iconic Colonial Revival north gable ends and the two-story south wing completed. Two construction dates are therefore appropriate: c. 1940 for the principal east and west wings, and c. 1958 for the south wing.

Survey photos indicate that the one-story north wing was constructed prior to 1979. Sometime between 1979 and 1993, the gable end entryways were infilled with brick and the picture windows on the eastern gable end were shortened. The picture windows at the western gable end are in their original configuration. In 2025, a commercial vehicle collided with the canopy over the vehicular entrance at the west end of the north wing. Significant structural damage resulted in the emergency removal of the canopy.

The building at 555 Government Street would not have met the 50-year benchmark required to mark it as contributing when the Church Street Historic District was first nominated in 1971, expanded in 1985, or updated in 2007. If the district were resurveyed today, the structure would meet the age requirement. As a largely intact example of mid-20th Century the Colonial Revival style, and one of Mobile's last surviving motor court hotels, it is staff's opinion that the structure would be considered contributing to the historic district today.

According to Historic Development Department Records, this property appeared before the Architectural Review Board once before on November 19, 2025, with an earlier iteration of this project.

SCOPE OF WORK

All Elevations:

1. Reroof with new gray architectural shingle roof.

Lobby/Sunroom:

1. Repair damaged brick parapet wall and wood entablature., wall and trim to be replicated around side and back.
2. Apply true stucco in sand color on the existing brick lobby addition.
3. North elevation will read as follows (from east to west): 3 sets of fixed/inoperable aluminum clad 8/8 French doors that will measure 4'0" W x 6'8" H with four-lite transoms that will measure 4'0" W x 1'0" H; 1 aluminum clad 8/8 French doors that will measure 4'0" W x 6'8" H that will have the left door fixed and the right door operable with a four-lite transom that will measure 4'0" W x 1'0" H
4. West elevation: 3 sets of fixed/inoperable aluminum clad 8/8 French doors that will measure 5'0" W x 6'8" H with five-lite transoms that will measure 5'0" W x 1'0" H.
5. South elevation will read as follows (from west to east): wood boxed column with base and capital that will measure 1'0" W x 8'6" H; aluminum clad single-lite picture window that will measure 2'0" W x 4'8" H with a two-lite aluminum clad transom above that will measure 2'0" W x 1'0" H and a 2'0" W x 1'8" H wood panel below; aluminum clad partial-lite French doors that will measure 6'0" W x 6'8" H with a six-lite aluminum clad transom above that will measure 6'0" W x 1'0" H; aluminum clad single-lite picture window that will measure 2'0" W x 4'8" H with a two-lite aluminum clad transom above that will measure 2'0" W x 1'0" H and a 2'0" W x 1'8" H wood panel below ; wood boxed column with base and capital that will measure 1'0" W x 8'6" H, aluminum transaction window that will measure 3'0" W x 4'0" H.

Gabled end blocks:

1. North facade:
 - a. First floor (from west to east): There will be no changes to fenestrations.
 - b. Second floor (from west to east): Two sets of operable aluminum-clad 8/8 French doors equally spaced across the elevation hat will measure 4'0" W x 6'8" H with four-lite transoms that will measure 4'0" W x 1'0" H. French door will be flanked by full length louvered shutters
2. Install a balcony on each gabled block at second floor level. Balconies will measure 20'4" W x 7'0"D.
 - a. A single 5" round metal column with articulated capital and base will support the gallery at either end.
 - b. Each balcony will feature composite decking sitting behind the cornice portion of existing entablature that would be extended forward to create balcony/gallery
 - c. Each balcony will have cast aluminum lace panel railings by "King Metals" using the "oak" design similar to existing pattern seen in the courtyard.
 - d. Install a retractable fabric privacy screen on each balcony.

West Elevation

1. Remove two existing windows from the north end of the west elevation. Remove existing faux door.
2. Infill resulting openings with brick.

APPLICABLE STANDARDS

- 5.1 Preserve the building's original placement and orientation.
 - Maintain the original orientation of a building to the street and neighborhood.
 - Maintain a property such that the historic setting of a building remains intact.
 - Retain the pattern of front setbacks and building spacing that reflect those of adjacent historic structures.
 - Design alterations so that the resulting building placement does not alter these established patterns.
- 5.3 Preserve the key historic walls of a building.
 - Maintain significant historic facades in their original form.
 - Maintain historic façade elements.
 - Pay special attention to maintaining the historic appearance of building walls of corner buildings.
- 5.5 Preserve and restore the visibility of original historic materials.
 - Do not cover or obscure original building materials.
- 5.14 Preserve the decorative and functional features of a primary door.
 - Original doors and openings, including their dimensions, should be retained along with any moldings, transoms or sidelights.
 - Maintain the original position and proportions of a historically significant door.
- 5.15 Repair or replace a damaged historic door to maintain its general historic appearance.
 - Replacements should reflect the age and style of the building.
 - Use materials that are visually comparable to that of the original.
 - Do not use solid core or flush doors.
- 5.20 Preserve the functional historic and decorative features of a historic window.
 - Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material.
 - Preserve historic window features, including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, and groupings of windows.
 - Repair, rather than replace, frames and sashes, wherever possible.
 - For repair of window components, epoxies and related products may serve as effective solutions to material deterioration and operational malfunction.
- 5.21 When historic windows are not in a repairable condition, match the replacement window design to the original.
 - In instances where there is a request to replace a building's windows, the new windows shall match the existing as per location, framing, and light configuration.
 - Use any salvageable window components on a primary elevation.
- 7.1 Preserve the key character-defining features of a historic commercial façade
- 7.7 Preserve and repair original materials on a historic commercial building whenever possible.
 - Do not paint over exposed brick.

- Strive to preserve materials on the sides and rear of a historic commercial building where possible.
 - Brick is the most common façade material, but in some cases stucco has been applied to an original brick façade.
 - If brick repair is required, match the mortar color, consistency and strike to the original as closely as possible.
- 7.8 If replacement of some material is required, use a material that is similar to that of the original.
 - Use replacement mortar that is as soft as or softer than the original. Type O mortar is required for historic soft brick.
 - Use true stucco instead of an imitation material.
 - Do not use a rustic finish on masonry that will simulate aged masonry.
- 7.10 Preserve and repair doors and doorways of a historic commercial building.
 - Preserve historic doorways in their original location and configuration.
 - Retain original recessed entries and other key features defining a historic entrance.
 - Maintain an original doorway to emphasize the commercial entrance.
- 7.11 If necessary, replace a door in a fashion that is sensitive to the historic commercial character of the building.
 - Use doors with high proportions of transparent glass.
 - If a modern doorway is created, use metal with anodized or painted finish or varnished or painted wood.
 - If a doorway was originally recessed, use a recessed doorway for the replacement.
 - Consider using a transom in a replacement storefront where appropriate.
 - Design a replacement doorway to emphasize the commercial entrance.
 - Do not use a residential door for a commercial building.
- 7.14 Where replacement of a balcony or gallery is required, replace it in a fashion that preserves the key character-defining features of a historic building.
 - Replace a historic balcony or gallery where documentation exists of its previous existence.
 - Design a replacement balcony or gallery to reflect the design of the original building. The ARB will consider modern balconies.
- 7.18 Preserve and repair an original detail or ornamentation on a historic commercial building.
 - Maintain the original space patterns and location of windows. Most display windows have a bulkhead below and a transom above.
 - Preserve the size and shape of an upper story window.
 - Consider maintaining a Carrara glass or glass block storefront if it has attained historic significance as an alteration.
- 7.19 If required, replace original historic windows to be compatible with the windows on the original historic building.
 - Use large panes of glass that fit the original opening for a display window. Where a display window is no longer required, the ARB will consider an alternative design.

- Do not use opaque treatments for a window, including black plexiglass. Do not paint a window.
- Do not use reflective mirror glass for a window.
- Unless evidence exists from existing buildings or historic photographs, do not use a multi-pane design that divides the storefront window into smaller components.
- Use a tempered glass window if required by the building code.
- Reopen an upper story window if it is blocked.
- If reopening an upper story window is not feasible, use a fixed shutter to define the original proportion of the window opening.

STAFF ANALYSIS 03/04/2026

The application proposes significant changes to the one-story lobby north wing addition that was constructed sometime between 1979 and 1993. This will include applying stucco to the wing and removing all existing windows and doors and replacing them with aluminum-clad French doors, transoms, and windows which will imitate the wood existing panel design consistent on the façade.. Additionally, the application includes installing two balconies/galleries on the north façade of each gabled block. The balconies would feature cast aluminum lace panel railings by “King Metals” using the “oak” design similar to existing pattern seen in the courtyard. Two window openings and a doorway on the west elevation will be removed and infilled with brick.

The first of the *Design Guidelines* instruct that the primary goal of any building treatment should be to “maintain the original orientation of a building to the street and neighborhood.” The application proposes removing the one remaining door on the north facade of the one-story wing as well as framing around the infilled entryways on the two gabled blocks. The remaining door would be replaced with 4 aluminum-clad French doors, 3 of which are inoperable. The French door on the west end of the lobby wing would have the left door fixed and the right door operable, allowing access to Government Street (7.31). Moreover, the *Guidelines* dictate that the “the decorative and functional features of a primary door” should be preserved. There will be 4 French doors on the north façade and from the plans submitted there is no indication which door is the primary door. It should be noted that the primary doors on the gabled blocks have not been present for a significant amount of time.

The *Guidelines* allow for adding galleries and balconies to existing buildings as long as they reflect the design of the original building and retain visibility of the cornice from the public right-of-way (7.14, 7.15) The proposed galleries would retain visibility of the cornice and would replicate the existing entablature to maintain the original appearance across the north façade of the gabled blocks. The simple design of the proposed gallery columns is traditional enough to blend with the Colonial Revival details of the property. The proposed balcony railings would imitate the decorative iron galleries that overlook the central motor court.

The *Guidelines* state that original windows should be preserved and restored where possible. If replacement is necessary, the replacement windows should match the historic fenestration in location,

framing, and light configuration (5.20, 5.21). The application proposes removing all existing windows on the lobby wing and the second floor of the gabled block's north façade. The proposed French doors would imitate the existing wood paneling design on the first-floor windows of the north façade. The application also proposes removing two original windows from the west elevation and infilling the openings with brick. This minor alteration would be less disruptive to the image of the building, as it is located on a secondary elevation. However, this portion of the west elevation is still easily visible from Government Street.

The application of true stucco on the lobby wing addition that was constructed sometime between 1979 and 1993 would be appropriate with the *Guidelines* and would be reflective of some of the surrounding historic buildings (7.8). This existing addition sustained significant damage to the parapet wall which would require brick replacement and repair.

STAFF ANALYSIS 11/19/25

The application seeks to make significant changes to the fenestration of the north wing and gable ends. This will include removing all existing windows and doors and replacing them with aluminum and glass doors and storefront windows. Two metal galleries would be constructed across the two north gable ends. The project would also involve removal of the brick parapet over the one-story north wing to create a rooftop deck. Both the galleries and the rooftop deck would feature horizontal wire railings. Two window openings and doorway on the west elevation will be removed and infilled with brick. The application also proposes painting all exterior brick white.

The first of the Design Guidelines instruct that the primary goal of any building treatment should be to “maintain the original orientation of a building to the street and neighborhood.” The application proposes removing the one remaining door on the north facade of the one-story wing as well as framing around the infilled entryways on the two gable ends. This would remove any suggestion of a primary façade entryway, essentially altering how the building interacts with the public right-of-way along Government Street. Moreover, the Guidelines dictate that the “the decorative and functional features of a primary door” should be preserved. Even in new commercial construction in the historic districts, the Guidelines require that primary building entries be oriented toward the public street (7.31). The proposed removal of all existing primary entryways on the primary façade with no provision for new entryways does not comply with these directives.

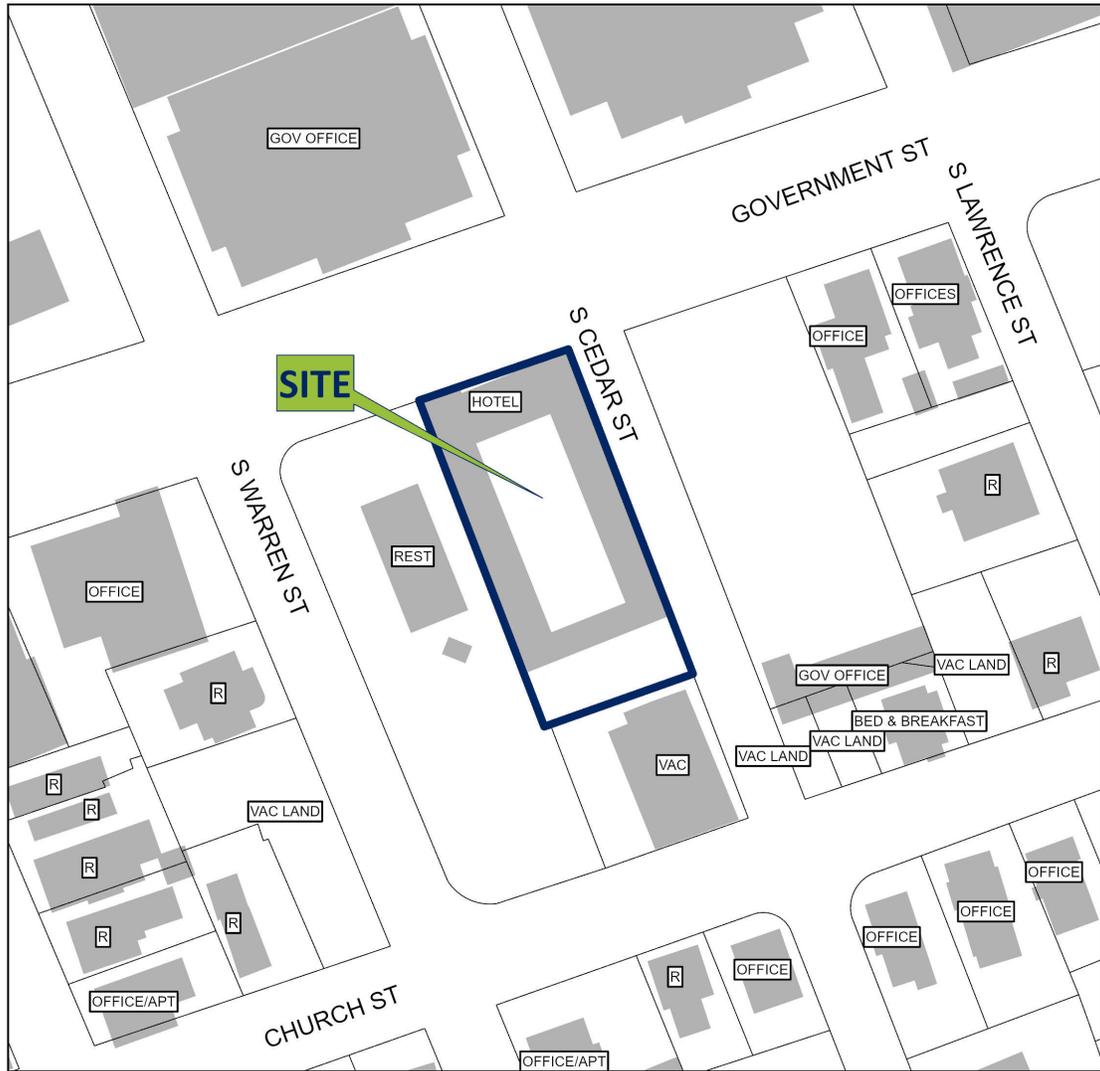
The Guidelines state that original windows should be preserved and restored where possible. If replacement is necessary, the replacement windows should match the historic fenestration in location, framing, and light configuration (5.20, 5.21). The application proposes removing all existing windows from the principal façade and replacing them with aluminum-and-glass storefronts that are significantly larger than the existing windows. The proposed plate-glass windows would lack the characteristic moldings of the original and would be at odds with the Colonial Revival moldings and entablature that would be retained elsewhere on the building. The application also proposes removing two original windows from the west elevation and infilling the openings with brick. This comparatively minor alteration would be less disruptive to the character of the building, as it is located on a secondary elevation. However, this portion of the west elevation is still easily visible from Government Street.

The *Guidelines* allow for adding galleries and balconies to existing buildings as long as they reflect the design of the original building and retain visibility of the cornice from the public right-of-way (7.14, 7.15). While the proposed galleries would retain visibility of the cornice, they would require removing the molded entablature over first-floor windows on the north gable ends. The simple design of the proposed gallery columns is traditional enough to blend with the Colonial Revival details of the property. The contemporary horizontal balcony railings would be a stylistic departure from the building as a whole and specifically the decorative iron galleries that overlook the central motor court.

The *Guidelines* dictate that key character-defining features of historic commercial facades should be preserved and that original materials should be preserved and repaired whenever possible (7.1, 7.7). Specifically, the Guidelines state “do not paint over exposed brick”. The proposed project includes painting all exterior brick white, which would not be compliant with this directive. Moreover, painting the red facing brick would remove a significant character defining feature of the mid-20th Century Colonial Revival style. Moreover, since the structure is of load-bearing concrete block constructed in the 1940s, it cannot be assumed that there is a vertical wall cavity between the facing brick and the masonry behind. If the entire wall is through-body masonry, any moisture that enters the wall system will need to evaporate through the face of the brick. If painting is allowed, it is recommended that the applicant uses an appropriate vapor permeable paint or stain to prevent moisture being trapped in the wall, which could cause significant material damage over time.

Site Location – 555 Government Street

**ARCHITECTURAL REVIEW BOARD
VICINITY MAP**



APPLICATION NUMBER	<u>1</u>	DATE	<u>3/4/2026</u>	 NTS
APPLICANT	<u>Paul Davis/PCDA</u>			
PROJECT	<u>Alterations to existing fenestration, construction of new galleries, and stucco veneered brick on the he existing lobby addition on north façade.</u>			

Site Photos – 555 Government Street



1. North primary façade, looking S



2. East elevation, looking SW



3. East gable end, facing W



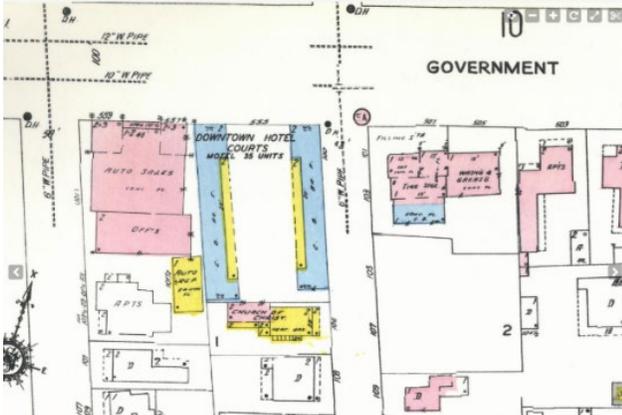
4. One-story north wing, facing S



5. Decorative iron galleries overlooking interior motor court, facing SW



6. W gable end, looking SE



7. 1955 Sanborn Fire Insurance Map



8. Interior courtyard, c. 1958.



9. North gable ends, c. 1960.



10. Eastern gable end, 1979



City of Mobile · Historic Development
Architectural Review Board Application

01/16/2026

Date of Application

Date Received

555 Government Street, Mobile, AL 36602

Address of Property

Does any party hold a façade easement on this property? No Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

TBD

Cost of Project (Required)

Fee Paid: \$ _____ Check # _____

Pink Inc.	[Redacted]	[Redacted]
Owner Name	Phone	Email
[Redacted]	[Redacted]	36602
Address		Zip Code
<i>If Owner is a legal entity such as a corporation, limited liability company, limited liability, partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.</i>		

PCDA	[Redacted]	[Redacted]
Owner's Representative Name	Phone	Email
[Redacted]	[Redacted]	36602
Address		Zip Code

Attached at end of application

Does the work involve demolition of a structure? No Yes Please fill out demolition portion of application.

Does the proposed work involve signage? No Yes

Will the proposed work require the removal of any trees from the site? No Yes

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

REQUIRED PLANS: If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

**Use the Following Checklist to Ensure a Complete Application
Complete each box that applies:**

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

1. **One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. Square footage of the original building with square footage of all additions including the proposed addition;
 - d. A drawing, with dimensions, of all affected exterior elevations;
 - e. Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. Paint samples and plan keyed to location of each color. (See below)
2. **Photographs of the subject property to be worked on and surrounding buildings are required.**
 - Subject Property photographs
 - Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. Elevation drawings with dimensions and material details
2. Floor plans
3. Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

TBD	Manufacturer
Red Brick	main body color
White	trim or decorative features
Brown	porch deck
Black Iron Lace	accent areas: lattice, shutters, etc.
Sand Colored Stucco	other areas

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: www.BuildMobile.org | historicdevelopment@cityofmobile.org | 251.208.7281

Visit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

Revised August 2023

FENCES, DRIVES AND GATES

1. ____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. ____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. ____ A description of the materials to be used.
4. ____ Paint samples, if the fence, wall or gate is to be painted.

SIGNAGE

Width of sign ____ feet ____ inches

Height of sign: ____ feet ____ inches

Single Face ____ Double Face ____

Height (from ground level to top of sign) ____ feet ____ inches

Height (from ground level to bottom of sign) ____ feet ____ inches

Total Square Footage of Signage: _____ square feet. (Both sides if double-faced)

General Description

Type of Sign: Monument Free Standing Projecting Wall Banner Sandwich Board

How will sign be mounted:

Sign Materials (sample materials may be requested by the Review

Board): _____

Describe type of lighting to be used: _____

Linear front footage of principle building: ____ feet ____ inches.

Square footage of Existing Signage: ____ feet ____ inches N/A ____

Include in Application:

____ Scaled colored renderings of the requested sign; or photographs with dimensions

____ Photographs of the building

____ A site plan or building elevation showing the location of the proposed signage For specific requirements, refer to *Sign Design Guidelines for Mobile's Historic District and Government Street*.

DEMOLITION APPLICATION

Purchase Date: _____ Purchase Price: _____

Current appraised value of the property? _____ (N/A if Not Available)

Was the property occupied at time of purchase? _____ What was the property's condition? _____

What alternatives to demolition have you considered for this property?

Have you listed the property for sale or lease since your purchase? Yes No

If "Yes", what was your asking price? _____

How many offers did you receive? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have construction plans ready to complete the replacement project? Yes No

If so, how much have you expended on the plans? _____

What are the dates of these expenditures? _____

In order to determine your ability to complete the replacement project, do you have the following:

Performance Bond Yes No

Letter of Credit Yes No

Trust for completion of improvements Yes No

Other evidence of financial ability Yes No

Letter of commitment from a financial institution Yes No

"In no event shall the Board entertain any application for the demolition or relocation of any Historic Property unless the applicant also presents at the same time the post-demolition or post-relocation plans for the site."

Ordinance #44-084

An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.
SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.

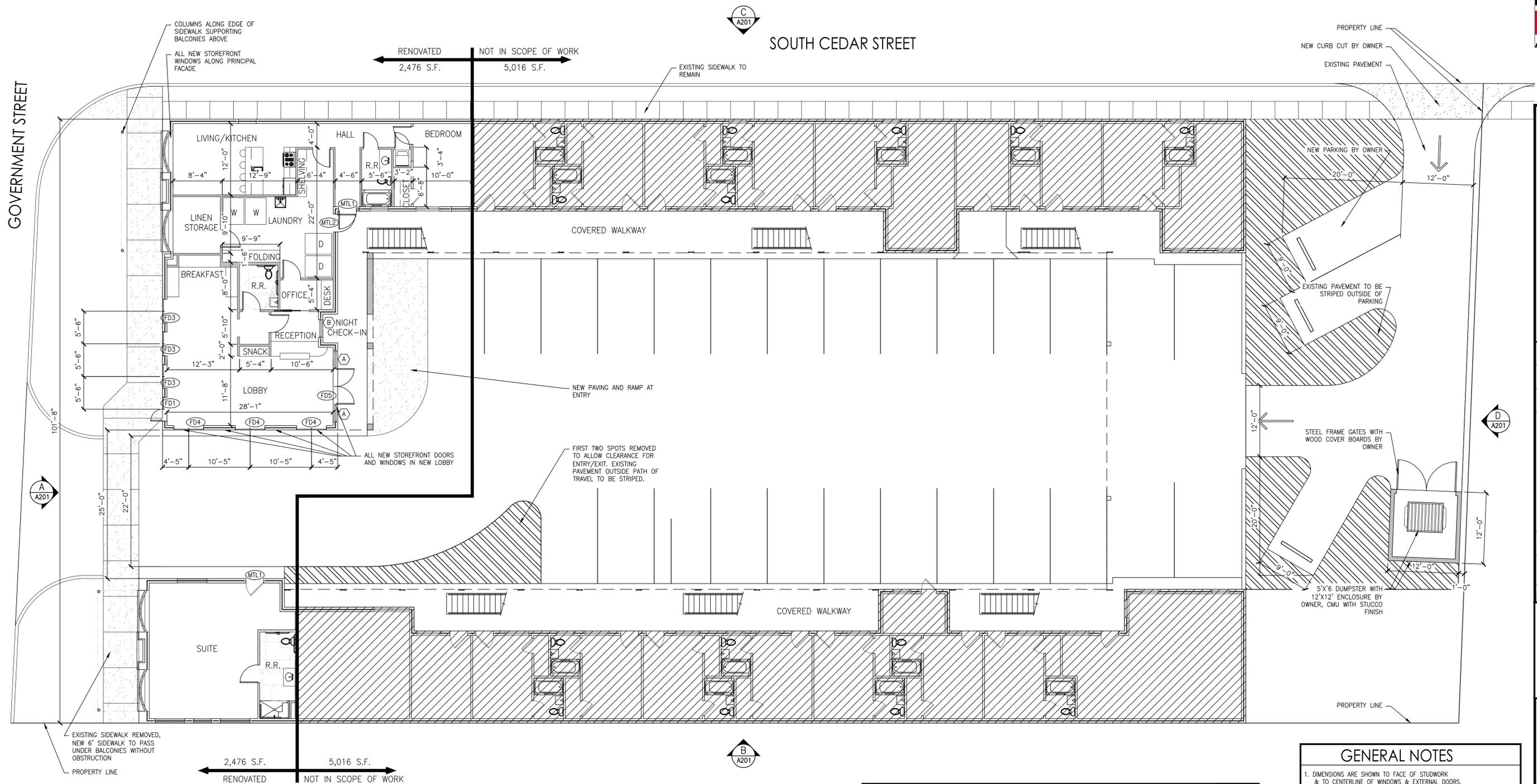

Signature

01/16/2026
Date

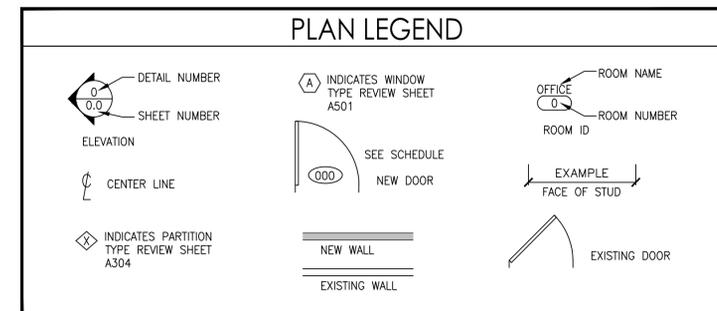
Proposed exterior and partial interior renovation of existing the Budget Inn Hotel. Exterior renovations would be focused on the principal façade, to include new French doors in existing openings, new sidewalk, new balconies, new courtyard facing storefront entrance, and new roof deck. Proposing to stucco damaged lobby portion of building in sand color to match historic keystones around ridge vents. All other brick would remain unpainted. This would allow for rebuilding and repairs where needed without the risk of mismatched brick. Also proposing to infill existing openings along the West property line, as well as a window on the West wing across from the lobby.

GOVERNMENT STREET

SOUTH CEDAR STREET



A101 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
2,476 RENOVATED S.F.
5,016 EXISTING S.F.
7,492 TOTAL



- GENERAL NOTES**
- DIMENSIONS ARE SHOWN TO FACE OF STUDWORK & TO CENTERLINE OF WINDOWS & EXTERNAL DOORS.
 - ANY CHANGE IN LOCATION OF INTERIOR WALLS TO BE CONFIRMED WITH ARCHITECT BEFORE PROCEEDING.
 - ALL MATERIALS, FIXTURES, ETC. SHALL BE NEW UNLESS OTHERWISE SPECIFIED. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 - PROVIDE BLOCKING AS REQUIRED AT TOILETS AND SHOWER FOR GRAB BARS, TOWEL BARS AND ALL WALL HUNG ITEMS INCLUDING MIRRORS AND TELEVISIONS.
 - STUD WALLS TALLER THAN 10' SHALL HAVE HORIZONTAL BRIDGING.
 - INSTALL 4" THICK SOUND-ATTENUATION BLANKETS IN ALL WALLS.
 - ALL PLUMBING FIXTURES, TOILET ACCESSORIES AND BUILDING FACILITIES SHALL MEET THE ADA ACT.
 - REVIEW SHEET A401 (ENLARGED FLOOR PLANS) FOR ADDITIONAL INFORMATION.
 - ALL FURR-OUTS AT WALLS SHALL NOT COMPROMISE CABINETS OR ADA SPACES.

Alterations to Budget Inn
555 Government Street
Mobile, AL 36602

PRELIMINARY

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR

Sheet Title:
PROPOSED FIRST FLOOR PLAN

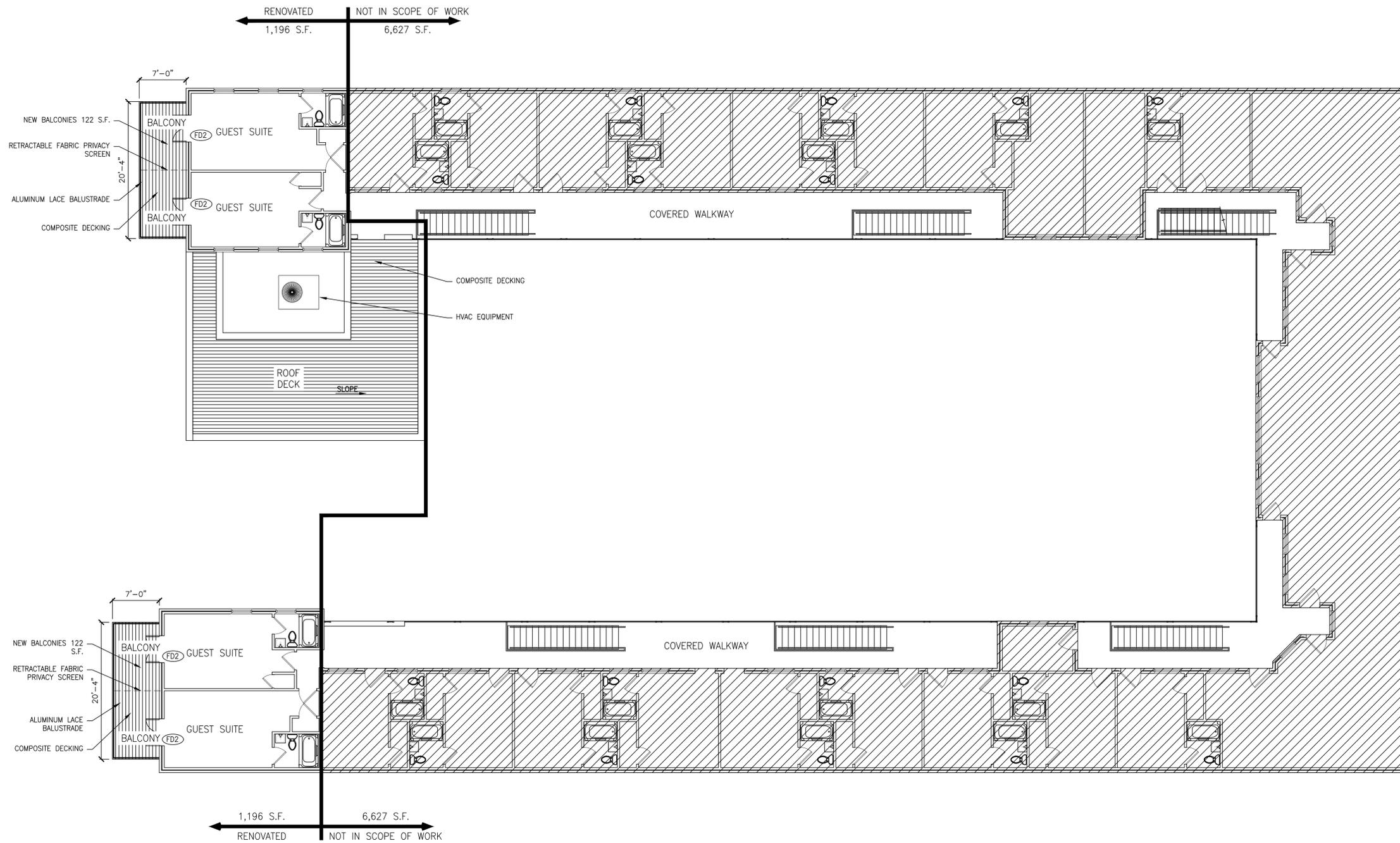
Project Number:
2024-65

Date:
January 14th, 2025

Drawn By:
JCB

Checked By:
PCD

Sheet No.
A101



A
A102 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
1,196 RENOVATED S.F.
6,627 EXISTING S.F.
7,824 TOTAL

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR

Sheet Title:
EXISTING ELEVATIONS

Project Number:
2024-65

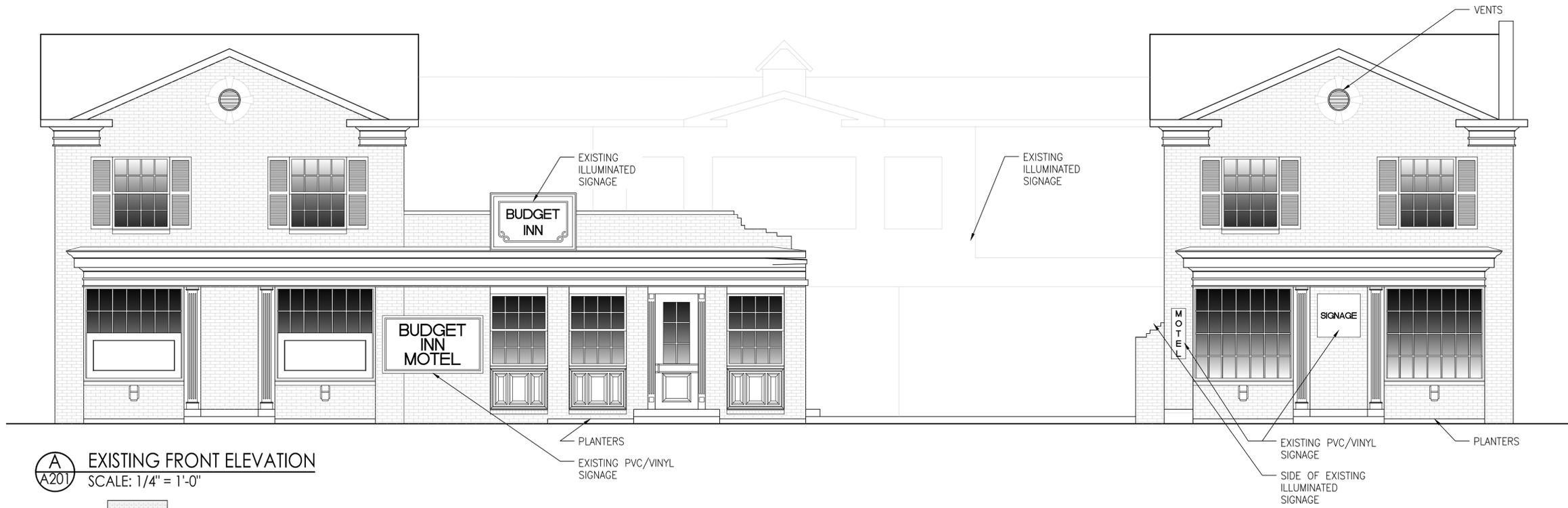
Date:
January 14th, 2025

Drawn By:
JCB

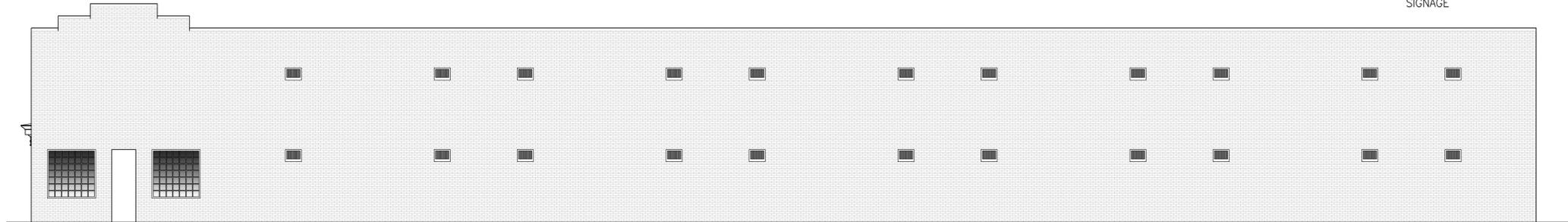
Checked By:
PCD

Sheet No.

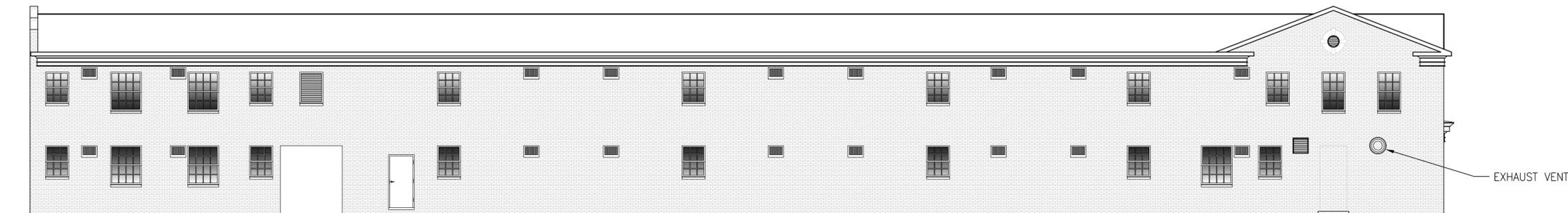
A201



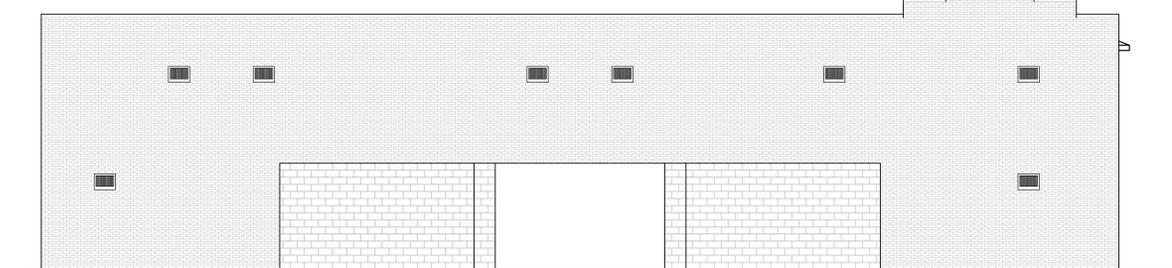
A EXISTING FRONT ELEVATION
 A201 SCALE: 1/4" = 1'-0"



B EXISTING ELEVATION
 A201 SCALE: 1/8" = 1'-0"



C EXISTING ELEVATION
 A201 SCALE: 1/8" = 1'-0"



D EXISTING ELEVATION
 A201 SCALE: 1/8" = 1'-0"



756 Saint Louis Street
 Mobile, Alabama 36602
 (251) 432-3480

Alterations to Budget Inn
 555 Government Street
 Mobile, AL 36602

PRELIMINARY

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR

Sheet Title:
 PROPOSED EXTERIOR ELEVATIONS

Project Number:
 2024-65

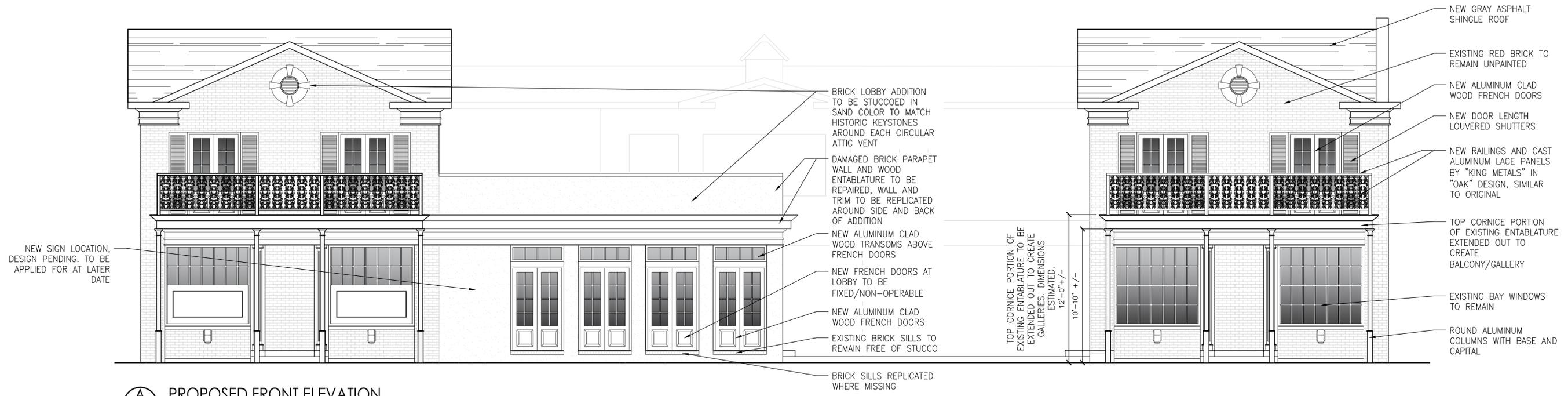
Date:
 January 14th, 2025

Drawn By:
 JCB

Checked By:
 PCD

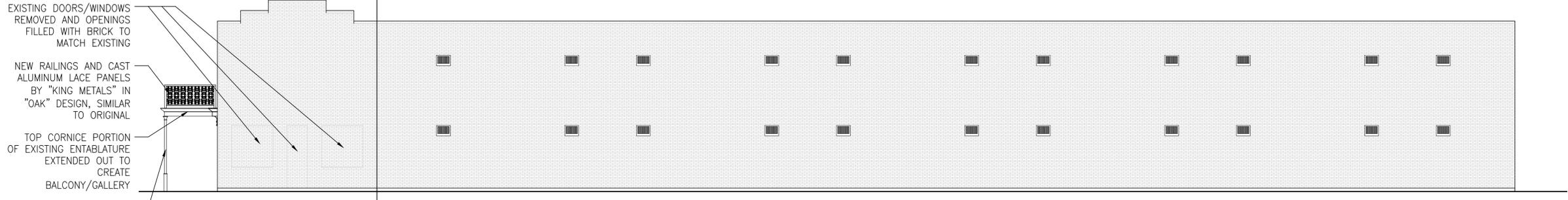
Sheet No.

A301



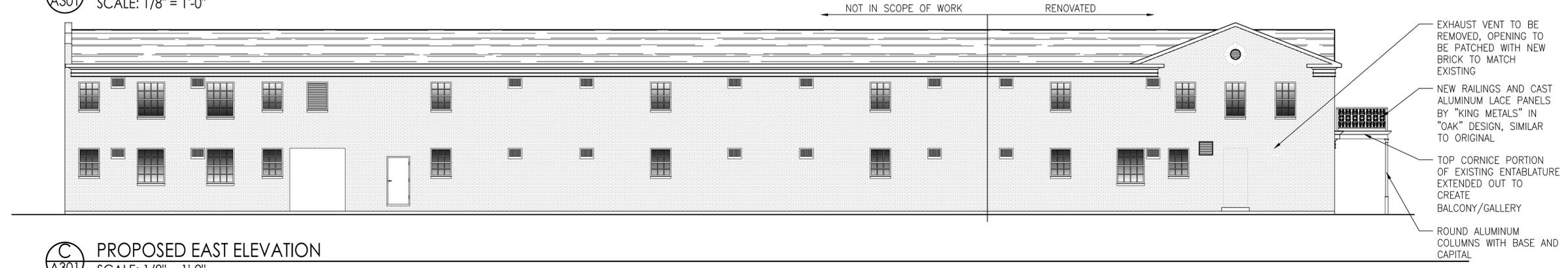
A PROPOSED FRONT ELEVATION

A301 SCALE: 1/4" = 1'-0"



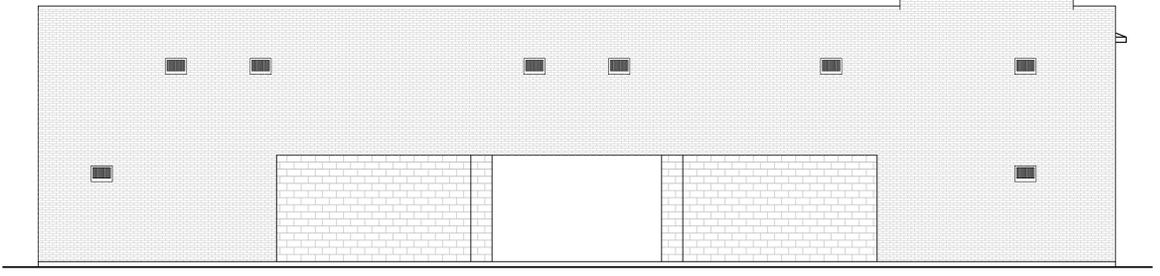
B PROPOSED WEST ELEVATION

A301 SCALE: 1/8" = 1'-0"



C PROPOSED EAST ELEVATION

A301 SCALE: 1/8" = 1'-0"



D PROPOSED NORTH ELEVATION ELEVATION (EXISTING TO REMAIN)

A301 SCALE: 1/8" = 1'-0"

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR

Sheet Title:
PROPOSED EXTERIOR ELEVATIONS

Project Number:
2024-65

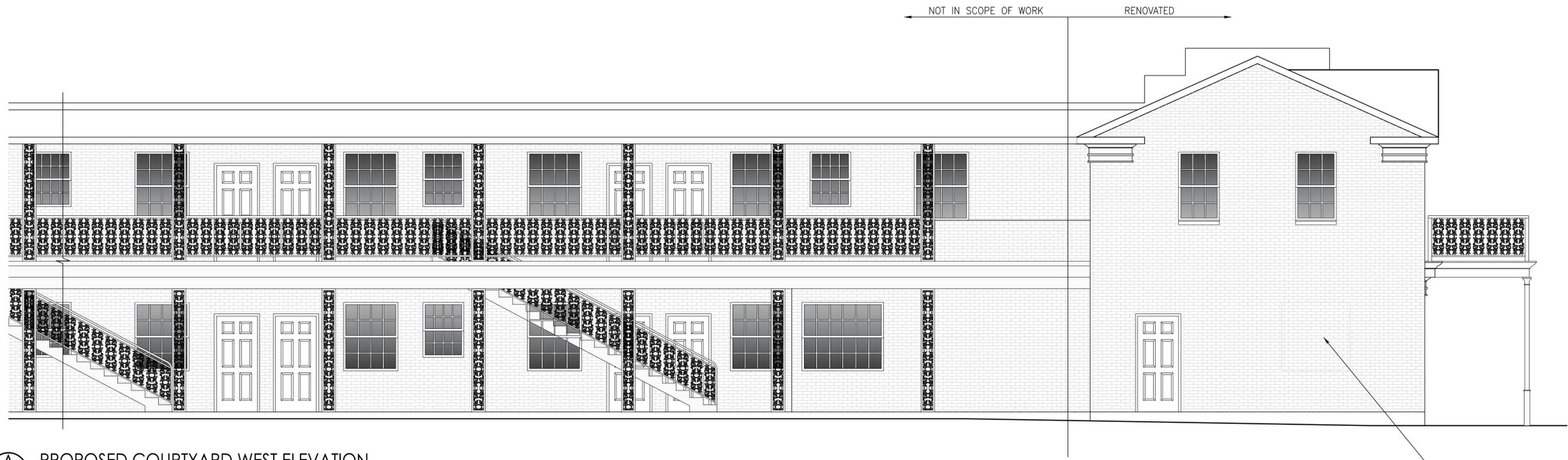
Date:
January 14th, 2025

Drawn By:
JCB

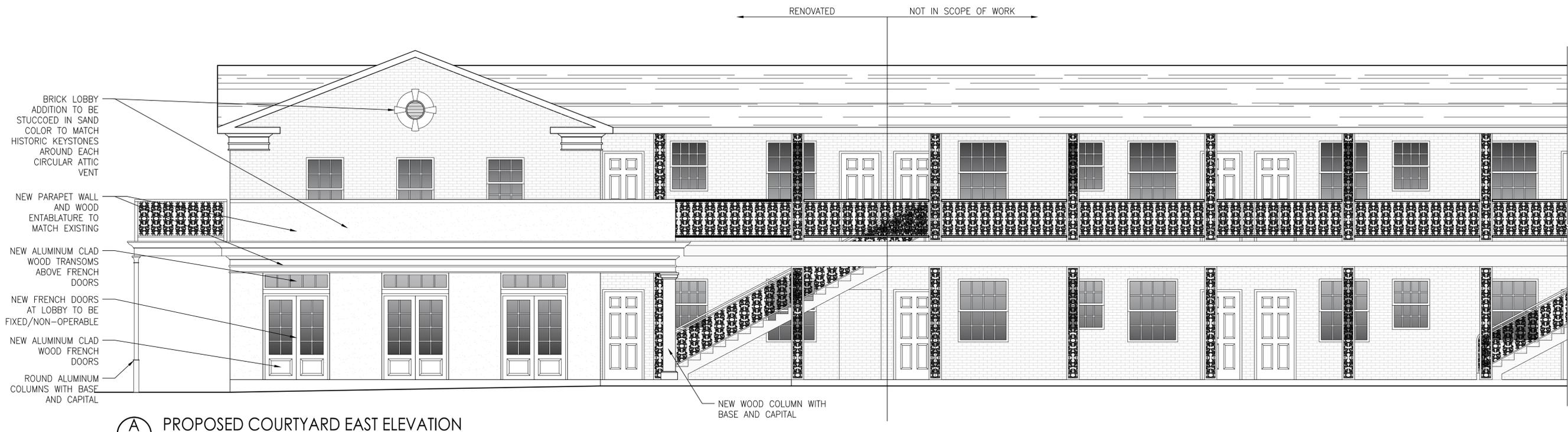
Checked By:
PCD

Sheet No.:

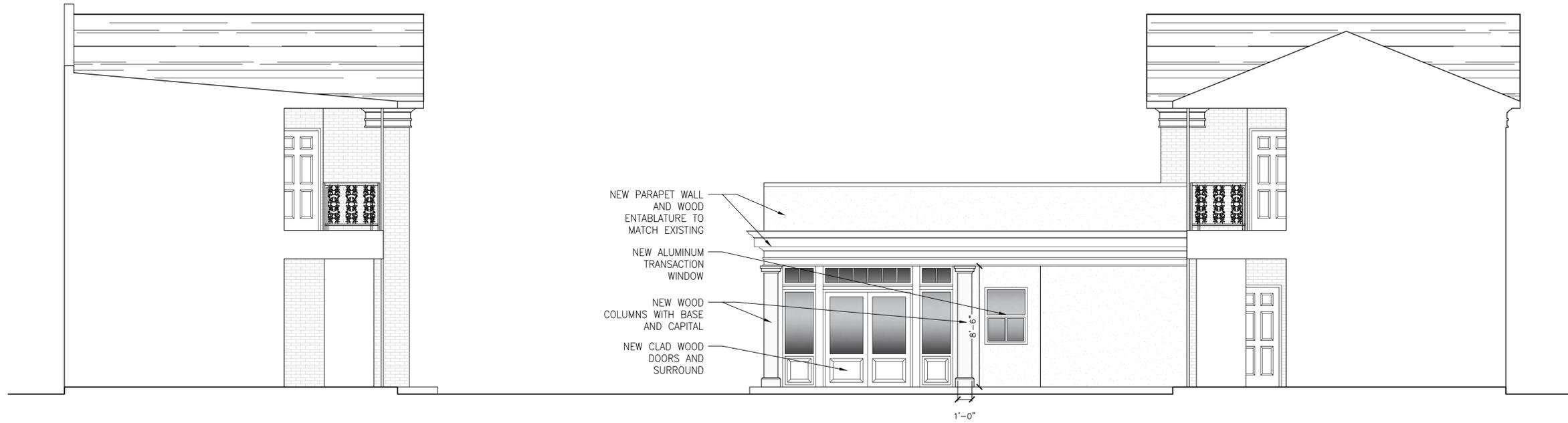
A302



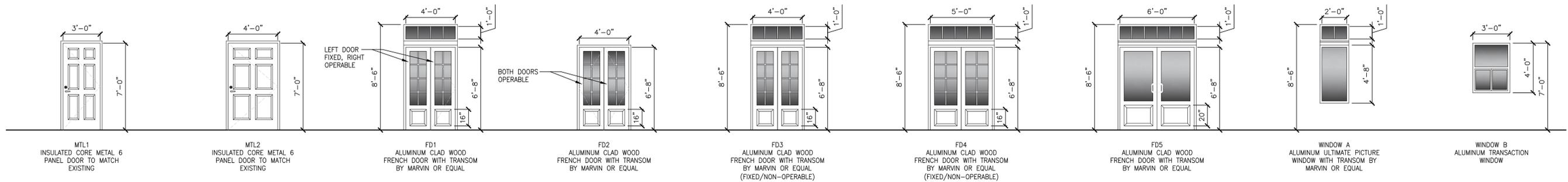
A
A301 PROPOSED COURTYARD WEST ELEVATION
SCALE: 1/4" = 1'-0"



A
A301 PROPOSED COURTYARD EAST ELEVATION
SCALE: 1/4" = 1'-0"



A
A303 PROPOSED COURTYARD NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



A
A303 DOORS & WINDOWS
 SCALE: 1/4" = 1'-0"

PRELIMINARY

REV	DATE	BY	DESCRIPTION	CHK	ENGR	APPR

Sheet Title:
PROPOSED EXTERIOR ELEVATIONS

Project Number:
2024-65

Date:
January 14th, 2025

Drawn By:
JCB

Checked By:
PCD

Sheet No.

A303



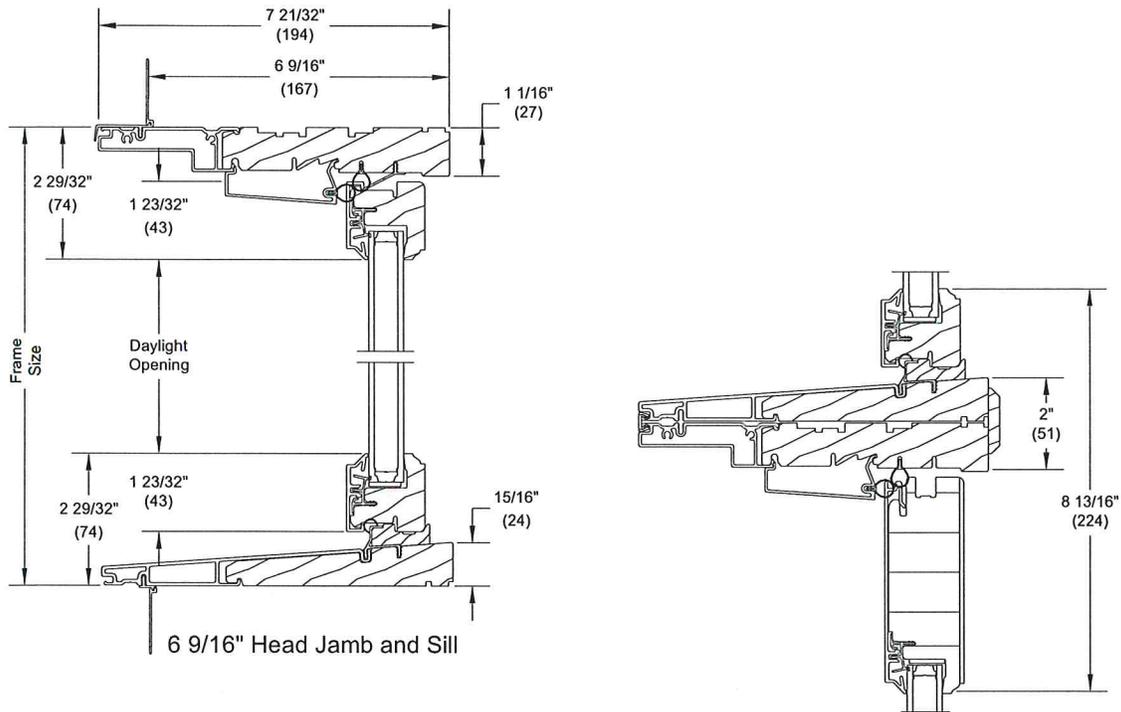




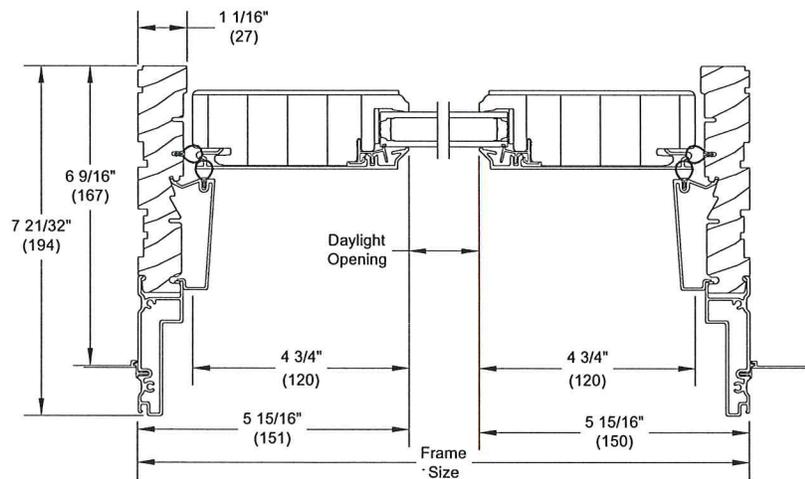


Inswing Section Details: In-Sash Transom (6 9/16" Jamb)

NOTE: Transom panels are 1 3/4" for both 1 3/4" and 2 1/4" G2 French Doors



Rectangular Ultimate Transom Over Ultimate Inswing French Door



In Sash Ultimate Transom 6 9/16" Jamb