



## Agenda Item #2

### Application 2024-37-CA

#### DETAILS

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**Location:**

208 S. Catherine

**Summary of Request:**

Construct a one-story addition on north elevation;  
construct a small second-story addition on south  
elevation.

**Applicant (as applicable):**

Douglas B. Kearley

**Property Owner:**

208 S. Catherine LLC

**Historic District:**

Old Dauphin Way

**Classification:**

Contributing

**Summary of Analysis:**

- Both additions appear subordinate to the original structure in scale, massing, and placement.
- The proposed materials are approvable for construction in Mobile's historic districts.
- The remaining proposed alterations on the submitted plans are eligible for administrative review

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## PROPERTY AND APPLICATION HISTORY

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Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20<sup>th</sup>-century apartments.”

The property at 208 S. Catherine Street is a frame two-story Colonial Revival residence punctuated by an intermingling of Georgian and Spanish architectural detailing. The building was constructed c. 1910 and designed by Mobile architect C.L. Hutchisson. The form and footprint of the structure has changed minimally since construction.

The property has appeared before the Architectural Review Board once. In 2017, a Certificate of Appropriateness (COA) was issued for the construction of a small addition off the west (rear) elevation.

## SCOPE OF WORK

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1. Construct an addition to the north elevation, to the west of the existing porte-cochere.
  - a. The proposed addition would measure approximately 11'-6" wide by 19'-0" deep
  - b. The addition would be topped by a hipped roof clad in fiberglass asphalt shingles.
  - c. Proposed fenestration would include one (1) multi-lite wood door measuring 3'-0" W x 7'-0" H, located on the east elevation; and one (1) casement window, relocated from the original block of the house, which would be placed on the additions' north elevation.
  - d. Exterior wall and foundation heights would match those of the original dwelling.
  - e. Exterior walls would be clad in wood siding to match original.
  - f. A wood landing, steps, and handrail would access the entry door on the addition's north.
2. Construct a small addition on the second floor of the south elevation.
  - a. The proposed addition measure approximately 21'-4" wide by 4'-4" deep.
  - b. The addition would be topped by a hipped roof clad in shingles. Exposed rafter tails would match those on the existing structure.
  - c. There is no proposed fenestration for this addition.
  - d. Exterior wall and roof height would be inferior to the original structure's second-story roof.
  - e. Exterior walls would be clad in wood siding to match existing.

## APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

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1. **6.9** Place an addition so that it is subordinate to the historic residential structure.
  - Place and design an addition to the rear or side of the historic building wherever possible.
  - Place a vertical addition in the rear so it is not visible from the street.
2. **6.10** Design an addition to be compatible in massing and scale with the original historic structure.
  - Design the massing of an addition to appear subordinate to the historic building.
  - Where feasible, use a lower-scale connecting element to join an addition to a historic structure.
  - Where possible, match the foundation and floor heights of an addition to those of the historic building.
3. **6.11** Design the exterior walls of an addition to be compatible in scale and rhythm with the original historic structure.
  - Design the height of an addition to be proportionate with the historic building, paying particular attention to the foundation and other horizontal elements.
  - Design the addition to express floor heights on the exterior of the addition in a fashion that reflects floor heights of the original historic building.
4. **6.12** Clearly differentiate the exterior walls of an addition from the original historic structure.

- Use a physical break or setback from the original exterior wall to visually separate the old from new.
  - Use an alteration in the roofline to create a visual break between the original and new, but ensure that the pitches generally match.
5. **6.13** Use exterior materials and finishes that are comparable to those of the original historic residential structure in profile, dimension and composition. Modern building materials will be evaluated for appropriateness or compatibility with the original historic structure on an individual basis, with the objective of ensuring the materials are similar in their profile, dimension, and composition to those of the original historic structure.
    - Utilize an alternative material for siding as necessary, such as cement-based fiber board, provided that it matches the siding of the historic building in profile, character and finish.
    - Use a material with proven durability.
    - Use a material with a similar appearance in profile, texture and composition to those on the original building.
    - Choose a color and finish that matches or blends with those of the historic building.
    - Do not use a material with a composition that will impair the structural integrity and visual character of the building.
    - Do not use a faux stucco application.
  6. **6.14** Design a roof of an addition to be compatible with the existing historic building.
    - Design a roof shape, pitch, material and level of complexity to be similar to those of the existing historic building.
    - Incorporate overhanging exposed rafters, soffits, cornices, fascias, frieze boards, moldings or other elements into an addition that are generally similar to those of the historic building.
    - Use a roofing material for an addition that matches or is compatible with the original historic building and the district.
  7. **6.15** Design roofs such that the addition remains subordinate to the existing historic buildings in the district.
    - Where possible, locate a dormer or skylight on a new addition in an inconspicuous location.
    - In most cases, match a roof and window on a dormer to those of the original building.
  8. **6.16** Design doors and doorways to an addition to be compatible with the existing historic building.
    - If a historic door is removed to accommodate the addition, consider reusing it on the addition.
    - Design a door and doorway to be compatible with the historic building.
    - Use a door material that is compatible with those of the historic building and the district.
    - Use a material with a dimensionality (thickness) and appearance similar to doors on the original historic building.
    - Design the scale of a doorway on an addition to be in keeping with the overall mass, scale and design of the addition as a whole.
  9. **6.19** Design piers, foundations and foundation infill on a new addition to be compatible with those on the historic building.
    - Match the foundation of an addition to that of the original.
    - Use a material that is similar to that of the historic foundation.
    - Match foundation height to that of the original historic building.
    - Use pier foundations if feasible and if consistent with the original building.
    - Do not use raw concrete block or wood posts on a foundation.
  10. **6.20** Use details that are similar in character to those on the historic structure.
    - Match a detail on an addition to match the original historic structure in profile, dimension and material.

- Use ornamentation on an addition that is less elaborate than that on the original structure.
  - Use a material for details on an addition that match those of the original in quality and feel.
  - Match the proportions of details on an addition to match the proportions used on the original historic structure.
11. **6.21** Design a window on an addition to be compatible with the original historic building.
- Size, place and space a window for an addition to be in character with the original historic building.
  - If an aluminum window is used, use dimensions that are similar to the original windows of the house. An extruded custom aluminum window approved by the NPS or an aluminum clad wood window may be used, provided it has a profile, dimension and durability similar to a window in the historic building.

## STAFF ANALYSIS

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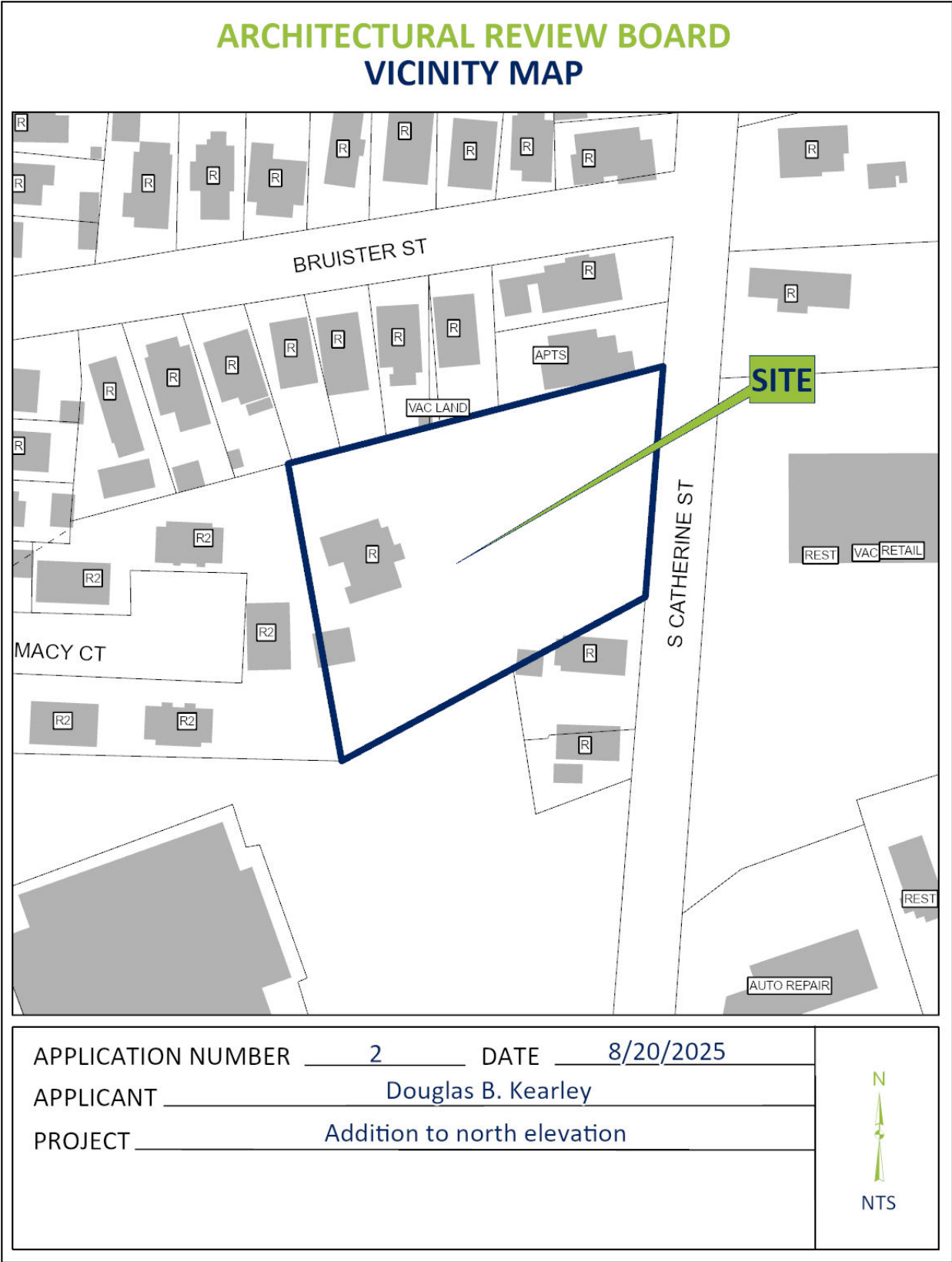
The historic structure at 208 S. Catherine Street is a contributing resource within the Old Dauphin Way Historic District. The application under review seeks approval for a one-story kitchen addition on the west end of the north elevation, along with a second-story closet addition on the south elevation.

The *Guidelines* call for the placement of an addition to an existing historic structure to appear subordinate to the main structure. The proposed first-story addition on the north elevation would measure 11'-6" wide by approximately 19'-0" deep (a total of approx. 218sf) and would be located to the west (rear) of the existing porte-cochere. The second-story addition proposed for the south elevation would measure 4'-4" wide by approximately 21'-4" deep. The scale, massing, and placement of both additions create an appearance of subordination to the historic dwelling. (6.9, 6.10)

The proposed additions are further compatible the original structure in its preservation of consistent ceiling and floor heights, traditional fenestration patterns, solid-to-void ratios, and comparable roof shape and design. (6.11, 6.14, 6.15)

The submitted drawings differentiate the new additions from the historic design, as directed by the Guidelines. The single-story addition is differentiated by the transition to enclosed exterior walls off the porte-cochere. On the south elevation, the second-story addition is differentiated by the new construction's setback from the second-floor's east façade. (6.12)

The materials, finishes, and details proposed for exterior walls, roof, porches, fenestration, and foundation of the addition match or complement those of the original historic structure, maintaining its architectural integrity and visual character. Likewise, the design and placement of the proposed doors, along with the reuse of an existing historic window further increase the addition's harmony with the original building. (6.13, 6.16, 6.19-6.21)





## Site Photos – 208 S. Catherine Street

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1.View of property, looking W



2.View of south elevation, looking N

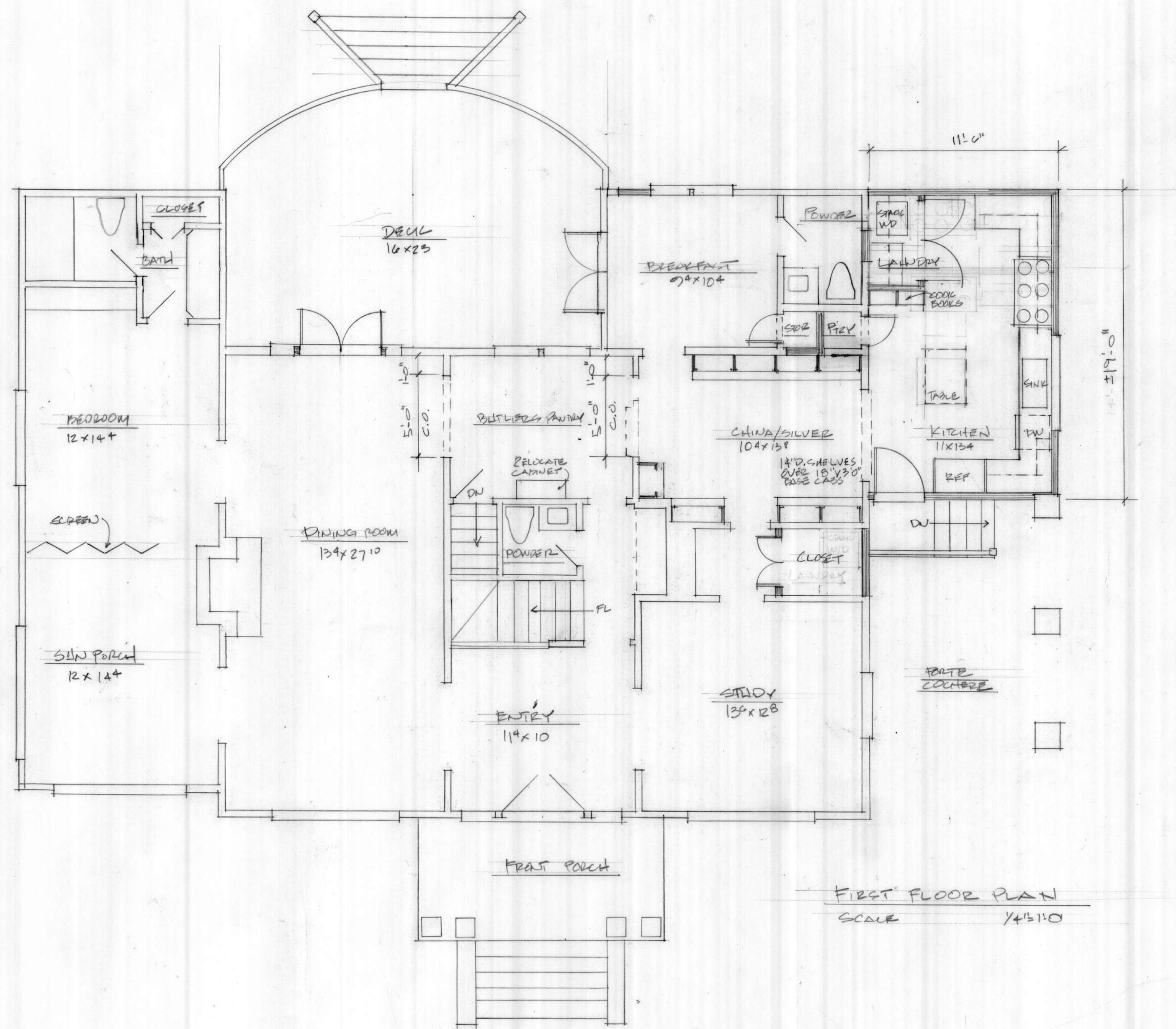


3.View of north elevation, looking S

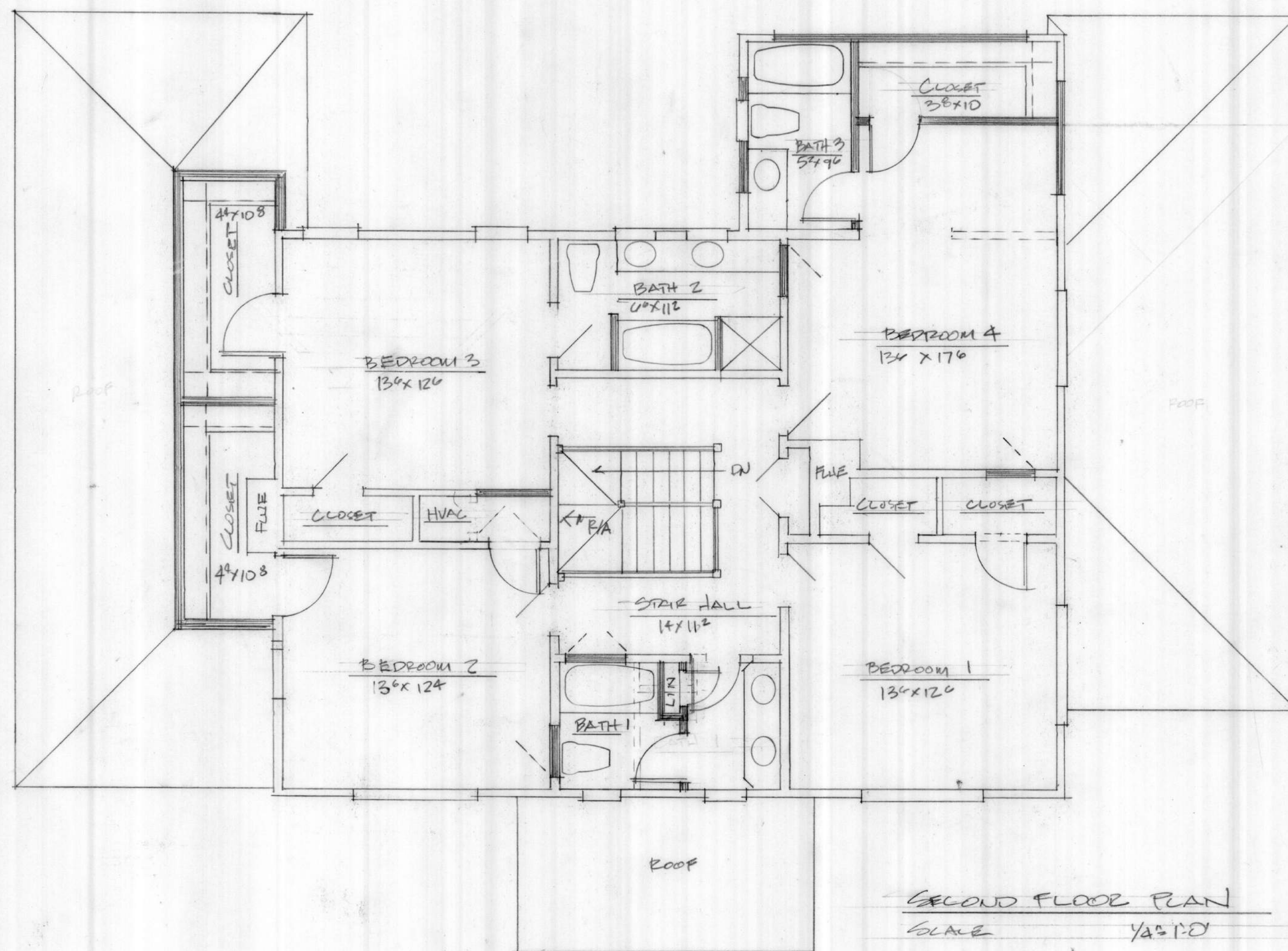


4.Detail of west end of porte-cochere, looking S













EAST ELEVATION  
SCALE 1/4\"/>



NORTH ELEVATION  
SCALE 1/4\"/>



