



Agenda Item #5

Application 2025-42-CA

DETAILS

Location:

201 St. Joseph Street

Summary of Request:

Remove existing windows on west elevation and replace with 'blind' windows

Applicant (as applicable):

Element 3 Engineering LLC

Property Owner:

St. Joseph Street Project LLC

Historic District:

DeTonti Square

Classification:

Not listed

Summary of Analysis:

- A survey was completed of the windows proposed for replacement. They were found to be significantly deteriorated
- The proposed replacement 'blind' windows fit the existing openings and match the existing in dimension, profile, and configuration
- All proposed materials are approved for window replacement in local historic districts
- The property is located in the DDD and has undergone CRC review

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PROPERTY AND APPLICATION HISTORY

DeTonti Square Historic District was initially listed in the National Register in 1972 under Criterion A for social and urban planning significance and Criterion C for significant architecture. The district was one of two historic districts created by a municipal ordinance in 1962 in an effort to halt the rapid demolition of historic buildings near the city's central business district. The district, named for the French explorer Henri DeTonti, contains a few structures surviving from the 1830s, but the majority were built in the 1850s as residences of the wealthy and influential cotton factors, merchants, and planters.

The present parcel at 201 St. Joseph Street stretches from State Street to the north to St. Anthony to the south and consists of two one-story masonry structures which were originally automotive businesses. The parcel as it exists today was once made up of three lots facing St. Joseph Street and one lot fronting State Street. 1885 Sanborn Insurance Map shows the three St. Joseph Street lots occupied by four large one-and-a-half to two-and-a-half story frame and masonry dwellings. Most had full-width front porches and off-set rear projections. The State Street lot contained five two-story masonry terrace homes and one one-and-a-half story frame home. These dwellings appear on the two subsequent overlays from 1891 and 1904. The southernmost dwelling facing St. Joseph Street is not present on the 1924 map. By the time of the 1955 Sanborn survey, the dwellings are all gone and the present buildings are extant. Aerial photography reveals that these structures were built between 1940 and 1952.

According to Historic Development records, this property has appeared once before the Architectural Review Board (ARB). In 2013, an application was approved to demolish a two-bay vehicular wind on the northeast corner of the property's northernmost building.

SCOPE OF WORK

1. Remove existing metal windows on west elevation and replace with 'blind' windows.
 - a. The replacement blind windows would consist of wood muntins of similar profile to original, painted white. Existing metal grilles would remain. Glazing would be opaque.
 - b. The replacement blind windows would fit the existing opening and would match the existing in lite configuration. Existing brick sill would remain.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

1. **5.20** Preserve the functional historic and decorative features of a historic window.
 - Where historic (wooden or metal) windows are intact and in repairable condition, retain and repair them to match the existing as per location, light configuration, detail and material.
 - Preserve historic window features, including the frame, sash, muntins, mullions, glazing, sills, heads, jambs, moldings, operation, and groupings of windows.
 - Repair, rather than replace, frames and sashes, wherever possible.
 - For repair of window components, epoxies and related products may serve as effective solutions to material deterioration and operational malfunction.
2. **5.21** When historic windows are not in a repairable condition, match the replacement window design to the original.
 - In instances where there is a request to replace a building's windows, the new windows shall match the existing as per location, framing, and light configuration.
 - Use any salvageable window components on a primary elevation.
3. **5.22** When a historic window is missing on a key character-defining wall, use a historically accurate replacement.
 - Historically accurate light patterns shall be employed. Use photographic, physical, and/or documentary evidence for the design.

- A new window shall be installed in such a manner as to fit within the original window opening and match in depth and filling of the reveal. A reveal is the part of the side of a window opening that is between the outer surface of the wall and the window.
- A double-paned or clad wood window may be considered as a replacement alternative only if the replacement matches the configuration, dimensions, and profiles of original windows.
- For increased efficiency, storm windows can be installed. A storm window shall fit within the window reveal and avoid damaging window casings. Operable storm windows are encouraged.

ACCEPTABLE WINDOW MATERIALS Materials that are the same as the original, or that appear similar in texture, profile and finish to the original are acceptable.

These often include:

- » Wood sash
- » Steel, if original to structure
- » Custom extruded aluminum
- » Aluminum clad wood
- » Windows approved by the National Park Service

UNACCEPTABLE WINDOW MATERIALS Materials that do not appear similar to the original in texture, profile and finish are unacceptable.

These often include:

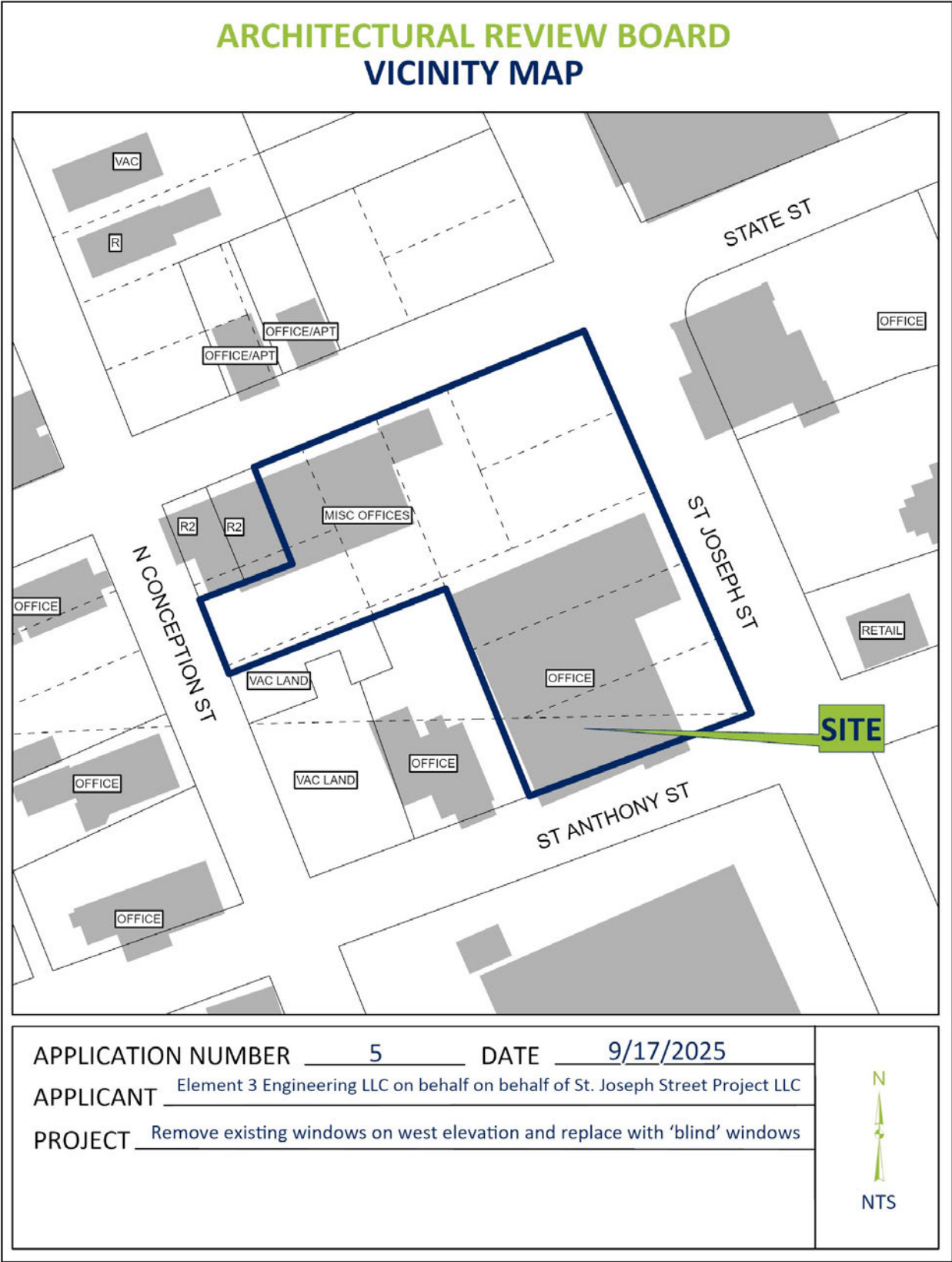
- » Vinyl
- » Mill-finished aluminum
- » Interior snap-in muntins (except when used in concert with exterior muntins and intervening dividers)

STAFF ANALYSIS

A portion of the parcel under review is located in the DeTonti Square Historic District. The submitted application proposes replacing the existing windows with blind windows that are similar in profile to the original.

The *Guidelines* prioritize preservation of an original window over replacement. However, when original or historic windows are not repairable, selected replacement design should match that of the original. (5.21) The submitted window survey reveals failing window components along the west elevation due to significant deterioration. The proposed replacements are similar to the original in dimension, profile, and configuration. The proposed project has made every attempt to retain all original material that is still structurally sound, such as the brick sills and metal grilles. The proposed wood muntins resemble the original in profile and will be painted white to further match what is there now. All materials are approved for replacement windows in historic districts. The windows proposed for replacement are located on the west elevation; a rear elevation which is minimally visible to the ROW. The windows on the north end of the west elevation have been replaced previously.

Site Location – Northwest corner of N. Claiborne and Congress Streets



Site Photos – Northwest corner of N. Claiborne and Congress Streets



1. View of building looking NW



2. View of south elevation, looking NE



3. View of north side of west elevation, looking NE



4. View of west elevation (windows to be replace looking SE)



5. Detail of existing window condition



6. Detail of existing window condition



City of Mobile · Historic Development

Architectural Review Board Application

Date of Application

Date Received

201 St. Joseph Street

Address of Property

Does any party hold a façade easement on this property? ☒ No ☐ Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

\$50,000.00

Fee Paid: ☐ \$ _____ Check # _____

Cost of Project (Required)

St. Joseph Street Project LLC

Owner Name

Phone

Email

7420-D Hitt Road Mobile, AL

36695

Address

Zip Code

If Owner is a legal entity such as a corporation, limited liability company, limited liability, partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.

Allen Williams

Owner's Representative Name

Phone

Email

3938 Government Blvd. A-104 Mobile, AL

36693

Address

Zip Code

Describe the Proposed Work:

Remove existing windows and replace with "blind" windows. Please see attached plans for window locations to be removed and replaced.

Please see attached renderings for proposed work.

Does the work involve demolition of a structure? ☒ No ☐ Yes Please fill out demolition portion of application.

Does the proposed work involve signage? ☒ No ☐ Yes

Will the proposed work require the removal of any trees from the site? ☒ No ☐ Yes

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

REQUIRED PLANS: If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Use the Following Checklist to Ensure a Complete Application
Complete each box that applies:

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

- 1. One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. ☐ A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. ☐ Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. ☐ Square footage of the original building with square footage of all additions including the proposed addition;
 - d. ☐ A drawing, with dimensions, of all affected exterior elevations;
 - e. ☐ Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. ☐ Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. ☐ Paint samples and plan keyed to location of each color. (See below)
- 2. Photographs of the subject property to be worked on and surrounding buildings are required.**
 - ☐ Subject Property photographs
 - ☐ Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. ☒ Elevation drawings with dimensions and material details
2. ☒ Floor plans
3. ☒ Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

<u>Sherwin Williams BLP</u>	Manufacturer
<u></u>	main body color
<u>St. Anthony Grey</u>	trim or decorative features
<u></u>	porch deck
<u></u>	accent areas: lattice, shutters, etc.
<u></u>	other areas

FENCES, DRIVES AND GATES

1. ____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. ____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. ____ A description of the materials to be used.
4. ____ Paint samples, if the fence, wall or gate is to be painted.

SIGNAGE

Width of sign ____ feet ____ inches

Height of sign: ____ feet ____ inches

Single Face ____ Double Face ____

Height (from ground level to top of sign) ____ feet ____ inches

Height (from ground level to bottom of sign) ____ feet ____ inches

Total Square Footage of Signage: ____ square feet. (Both sides if double-faced)

General Description

Type of Sign: ☐ Monument ☐ Free Standing ☐ Projecting ☐ Wall ☐ Banner ☐ Sandwich Board

How will sign be mounted:

Sign Materials (sample materials may be requested by the Review

Board): _____

Describe type of lighting to be used: _____

Linear front footage of principle building: ____ feet ____ inches.

Square footage of Existing Signage: ____ feet ____ inches N/A ____

Include in Application:

____ Scaled colored renderings of the requested sign; or photographs with dimensions

____ Photographs of the building

____ A site plan or building elevation showing the location of the proposed signage For specific requirements, refer to *Sign Design Guidelines for Mobile's Historic District and Government Street*.

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DEMOLITION APPLICATION

Purchase Date: _____ Purchase Price: _____

Current appraised value of the property? _____ (N/A if Not Available)

Was the property occupied at time of purchase? _____ What was the property's condition? _____

What alternatives to demolition have you considered for this property?

Have you listed the property for sale or lease since your purchase? ☐ Yes ☐ No

If "Yes", what was your asking price? _____

How many offers did you receive? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have construction plans ready to complete the replacement project? ☐ Yes ☐ No

If so, how much have you expended on the plans? _____

What are the dates of these expenditures? _____

In order to determine your ability to complete the replacement project, do you have the following:

Performance Bond ☐ Yes ☐ No

Letter of Credit ☐ Yes ☐ No

Trust for completion of improvements ☐ Yes ☐ No

Other evidence of financial ability ☐ Yes ☐ No

Letter of commitment from a financial institution ☐ Yes ☐ No

"In no event shall the Board entertain any application for the demolition or relocation of any Historic Property unless the applicant also presents at the same time the post-demolition or post-relocation plans for the site."

Ordinance #44-084

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An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.



Signature

8/5/25

Date











Proposed South Elevation



Proposed South West Elevation

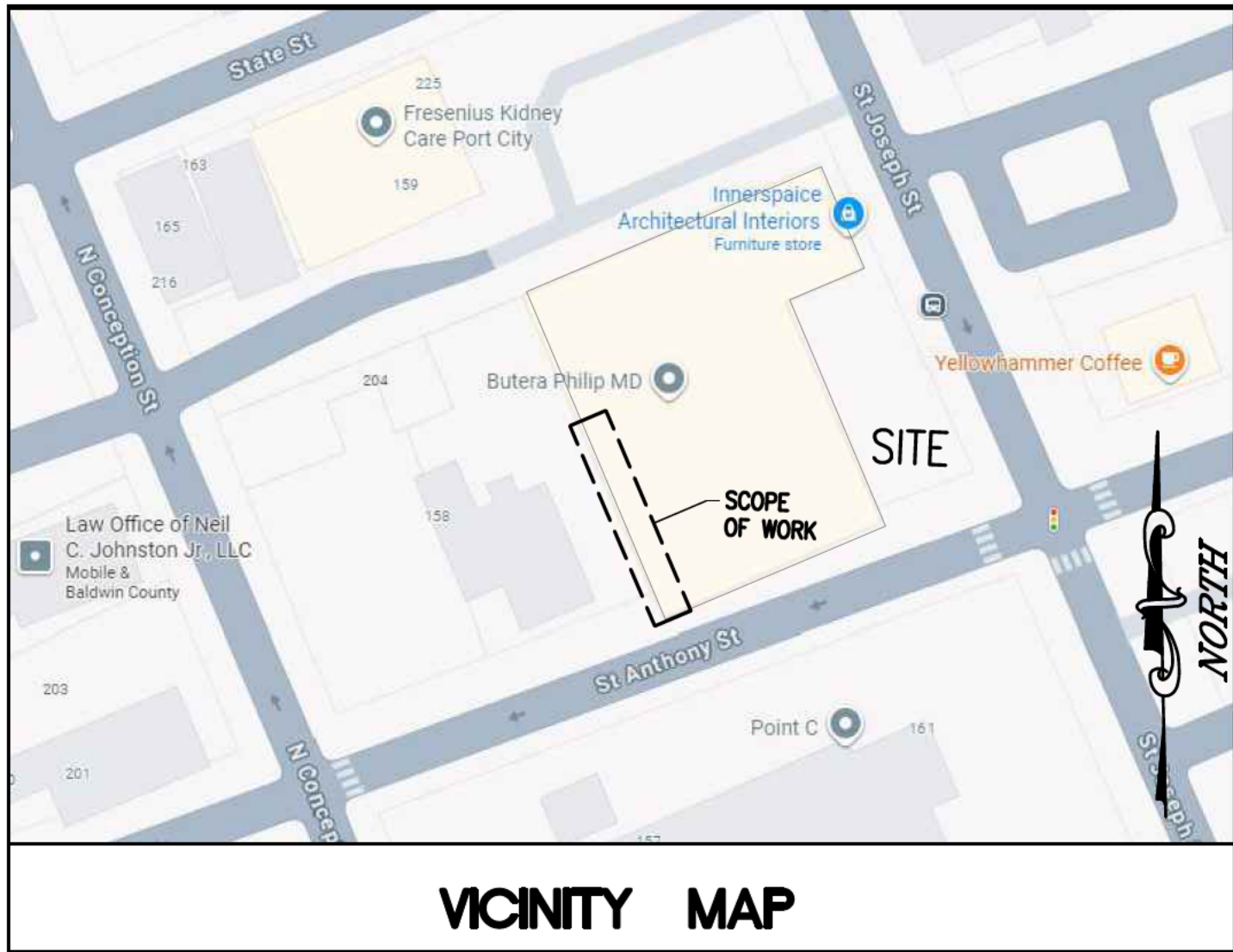


Proposed West Elevation

201 ST. JOSEPH ST.
WINDOW REMODEL
201 ST. JOSEPH STREET,
MOBILE, AL 36602

INDEX OF DRAWINGS

G1.0	COVER SHEET
G2.0	CODE SUMMARY
S1.0	DEMOLITION PLAN
S2.0	FLOOR PLAN
S3.0	STRUCTURAL DETAILS



Element³
engineering
3938 GOVERNMENT BLVD
SUITE 104
MOBILE, AL.
36693

REVISIONS	Description	Approved	
		NO WORK ON ST ANTHONY ST AS PER CRC COMMENTS	FAD
Date	8.28.25		

201 ST. JOSEPH STREET
WINDOW REMODEL
201 ST. JOSEPH STREET,
MOBILE, AL. 36602

PRE-PERMIT
SUBJECT TO
CHANGE

JOB NO.	25-043
DATE:	08/13/2025
DRAWN BY:	JBG
SCALE:	SHOWN

SHEET NO.

G1.0

COVER



City of Mobile · Permitting
Building Code Summary
For All Commercial Projects

Information to be copied and placed on drawings

General Information

201 ST. JOSEPH ST.
Name of Project

201 ST. JOSEPH STREET, MOBILE, AL 36602
Address

WINDOW REMODEL
Proposed Use

Architects Letter of Supervision Provided? ☐ Yes ☐ No

Codes used in design (Check all that apply)

- ☒ 2021 International Building Code ☒ 2020 National Electrical Code
☒ 2021 International Existing Building Code ☒ 2021 International Mechanical Code
☒ 2021 International Fire Code ☒ 2021 International Plumbing Code
☒ 2015 International Energy Conservation Code ☒ 2021 International Fuel Gas Code

Construction Description

☐ Addition ☒ Alteration ☐ New Construction ☐ Renovation of Existing Building ☐ Tenant Build-Out ☐ Shell

Scope of Work – Building: EXISTING WINDOWS SPECIFIED ON PLANS TO BE REMOVED & FILLED WITH NEW BLIND WINDOWS.

Scope of Work – Electrical: N/A

Scope of Work – Mechanical / Refrigeration: N/A

Scope of Work – Plumbing: N/A

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Fire Rated Elements	Required Rating	Hourly Rating	UL No. *
Ceiling-Floors	_____	_____	_____
Beams	_____	_____	_____
Columns	_____	_____	_____
Ceiling-Roofs	_____	_____	_____
Shafts-Exit	_____	_____	_____
Shafts-Other	_____	_____	_____
Corridor separation	_____	_____	_____
Occupancy separation	_____	_____	_____
Party/Fire wall separation	_____	_____	_____
Smoke barrier separation	_____	_____	_____
Tenant separations	_____	_____	_____

- * Or other approved agencies
- All fire rated walls shall be identified on plans by hatching, shading, etc.; show legend.
 - Identify code section when using any special exceptions, etc.
 - Reproduce full UL. Or other approved agencies details or reproductions of rated assemblies/penetrations on the drawings.

Draft Stopping (IBC 718.3 & 718.4) Draft stopping in floor? ☐ Yes ☐ No Draft stopping in attic? ☐ Yes ☐ No

Accessibility (IBC 11) Does the design conforms to IBC Chapter 11 and ICC A117.1-2017? ☐ Yes ☐ No
If no, explain below condition that will not allow building to be accessible:

Design Loads (City Ordinance 1609.3)

Ultimate Design Wind Speed (IBC 1609 or ASCE 7)

☐ Risk Cat. I-145MPH ☒ Risk Cat. II-159MPH ☐ Risk Cat. III-169MPH ☐ Risk Cat. IV-179MPH

Live Loads (IBC 1607)

Roof N/A PSF Attic N/A PSF Floor N/A PSF Mezzanine N/A PSF

Wind-Borne Debris Region (IBC 1609)

This building will use impact resistant glass per (IBC 1609.2)? ☒ Yes ☐ No

This building will use engineered shutters or other approved method? ☐ Yes ☐ No

Flood Requirements (IBC 1612) All projects located in a Special Flood Hazard Area shall comply with the City of Mobile Storm

Water Management and Flood Control Ordinance. Does this project comply? ☐ Yes ☒ No

If no, explain why:

Special Inspections and Tests (IBC 17)

I have reviewed the requirements of IBC Section 17, specifically 1705; the design incorporates the requirements and is reflected on the drawings and in the specifications. Below are the requirements to be included:

The Contractor has been notified of his responsibility under Section 1704. ☒ Yes ☐ No

Safety Glazing for Hazardous (IBC 2406) I have identified on drawings where tempered glass is required in hazardous locations (2406.4) ☒ Yes ☐ No

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MOBILE FIRE - RESCUE DEPARTMENT
FIRE CODE ADMINISTRATION
Address Visibility Chart

Letter Height & Viewing Distance Chart

Shows letter height (inches), Distance for Best Visibility

Letter Height (Inches) Ideal Readable Distance

3"	30'
4"	40'
5"	50'
6"	60'
7"	70'
8"	80'
9"	90'
10"	100'
12"	120'
15"	150'
18"	180'
20"	200'
24"	240'
26"	260'
30"	300'
36"	360'

Mobile Fire-Rescue Department / Community Risk Reduction / Fire Code Administration
2851 Old Shell Road Mobile, AL 36607 (251) 208-7484

Total Lot Area (sf) N/A Gross Area of Building All floors (sf) N/A

Total Building Footprint** (sf) N/A Building Height: N/A

**to include all buildings on the site, including detached garages, storage sheds, etc.

Number of Stories: 1 Is there a basement? ☐ Yes ☒ No

Existing Buildings

The building will remain in operation during construction ☒ Yes ☐ No

If yes, add provisions for rigid safety barriers and dust barriers to protect the public during construction in accordance with the applicable provisions of IBC Chapter 33. Yellow safety tape is not acceptable.

Provide Level of Alterations per IBC ☒ 1 ☐ 2 ☐ 3

Renovations (Change of Occupancy)

Is the work in this building or space changing the occupancy type or use? ☐ Yes ☒ No

Historic Buildings

Is this building a Historic Building? ☒ Yes ☐ No

Construction Type ☐ IA ☐ IB ☐ IIA ☒ IIB ☐ IIIA ☐ IIIB
☐ IVA ☐ IVB ☐ IVC ☐ IVHT ☐ VA ☐ VB

Occupancy Classification

- | | | | | | |
|------------------------------------------------------|------------------------------|------------------------------|------------------------------|-------------------------------------|------------------------------|
| <input type="checkbox"/> Assembly 303 | <input type="checkbox"/> A-1 | <input type="checkbox"/> A-2 | <input type="checkbox"/> A-3 | <input type="checkbox"/> A-4 | <input type="checkbox"/> A-5 |
| <input checked="" type="checkbox"/> Business 304 | | | | | |
| <input type="checkbox"/> Education 305 | | | | | |
| <input type="checkbox"/> Factory Industrial 306 | <input type="checkbox"/> F-1 | <input type="checkbox"/> F-2 | | | |
| <input type="checkbox"/> High-Hazard 307 | <input type="checkbox"/> H-1 | <input type="checkbox"/> H-2 | <input type="checkbox"/> H-3 | <input type="checkbox"/> H-4 | <input type="checkbox"/> H-5 |
| <input type="checkbox"/> Institutional 308 | <input type="checkbox"/> I-1 | <input type="checkbox"/> I-2 | <input type="checkbox"/> I-3 | <input type="checkbox"/> I-4 | ____Condition |
| <input type="checkbox"/> Mercantile 309 | | | | | |
| <input type="checkbox"/> Residential 310 | <input type="checkbox"/> R-1 | <input type="checkbox"/> R-2 | <input type="checkbox"/> R-3 | <input type="checkbox"/> R-4 | |
| <input type="checkbox"/> Storage 311 | <input type="checkbox"/> S-1 | <input type="checkbox"/> S-2 | | <input type="checkbox"/> High-piled | |
| <input type="checkbox"/> Utility & Miscellaneous 312 | | | | | |

Occupant Loads

TOTAL OCCUPANT LOAD

0

Building Element

Structural frame; columns, girders, trusses

Bearing walls exterior

Bearing walls interior

Non-bearing walls & partitions exterior

Non-bearing walls & partitions interior

Floor construction; supporting beams and joists

Roof construction; supporting beams and joists

Sprinkler system? ☐ Yes ☐ No ☐ Partial

If "YES", provide Commercial Sprinkler Owners Information Certification:

Sprinkler type ☐ 13 ☐ 13R ☐ 13D

Standpipes? ☐ Yes ☐ No ☐ Wet ☐ Dry Class _____

Fire / Smoke Alarm? ☐ Yes ☐ No

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IPC TABLE 403.1 – TOTAL NUMBER OF REQUIRED FIXTURES								
	OCCUPANCY	OCCUPANT LOAD	WATER CLOSETS			LAVATORIES		
			Ratio	Men	Ratio	Women	Ratio	Men
Required	<u>N/A</u>							
Total								
	DRINKING FOUNTAIN	SERVICE SINK	MISC	MISC				
Required	<u>N/A</u>							
Total								

Fire Department Requirements: The design professional shall provide the following required fire protection elements for the building.

Required water supply N/A GPM @ N/A PSI

Method Used:

_____ The Insurance Service Office (ISO) Method _____ Iowa State University (ISU) Method,
_____ Illinois Institute of Technology (IIT) Method) _____ International Fire Code 2021 (IFC)

Key Boxes IFC 506: ☐ Yes ☐ No

Locks: ☐ Yes ☐ No

**required for buildings with fire protection systems, gates, non-standard fire service access i.e., elevators

Emergency Responder Communication Coverage IFC 510: ☐ Yes ☐ No

**Signal strength survey required for structures over 12,000 SF, over three stories high, or those having a basement. This requirement may be requested for structures not meeting these parameters.

Provide a Life Safety Plan (LSP) for all commercial projects: ☒ Yes ☐ No

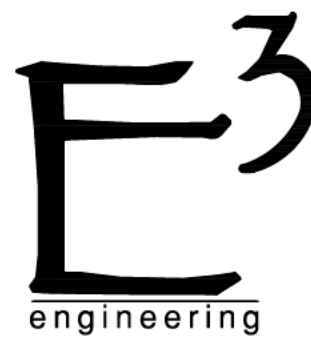
**At a minimum, the Life Safety Plan shall illustrate the use for all areas, occupant loads for all areas, exit locations, exit access, exit capacity, maximum travel distance, exit lights, emergency lights, fire extinguishers, fire rated assemblies, assembly area seating layout and exit discharge.

Compliance Statement required for Fire Approval: ☐ Yes ☐ No

**Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction.

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Revised November 2024



Element³
engineering
3938 GOVERNMENT BLVD
SUITE 104
MOBILE, AL.
36693

REVISIONS	Description	Approved	FAD				
	NO WORK ON ST ANTHONY ST AS PER CRC COMMENTS						
Date	8.28.25						

201 ST. JOSEPH STREET
WINDOW REMODEL
201 ST. JOSEPH STREET,
MOBILE, AL. 36602

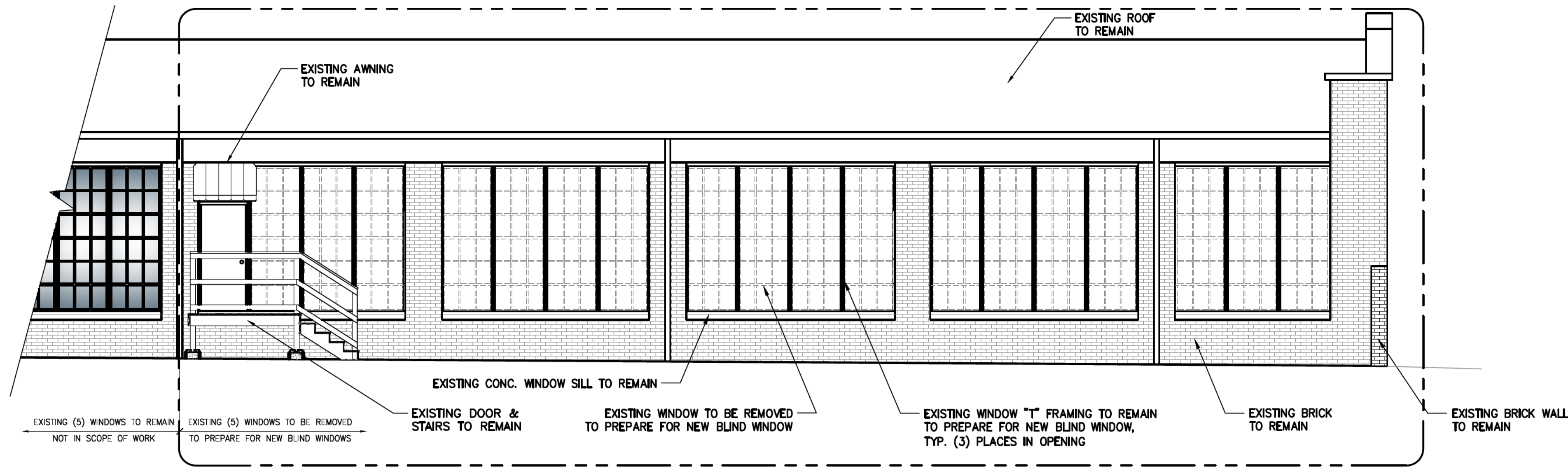
PRE-PERMIT
SUBJECT TO
CHANGE

JOB NO. 25-043
DATE: 08/13/2025
DRAWN BY: JBG
SCALE: SHOWN

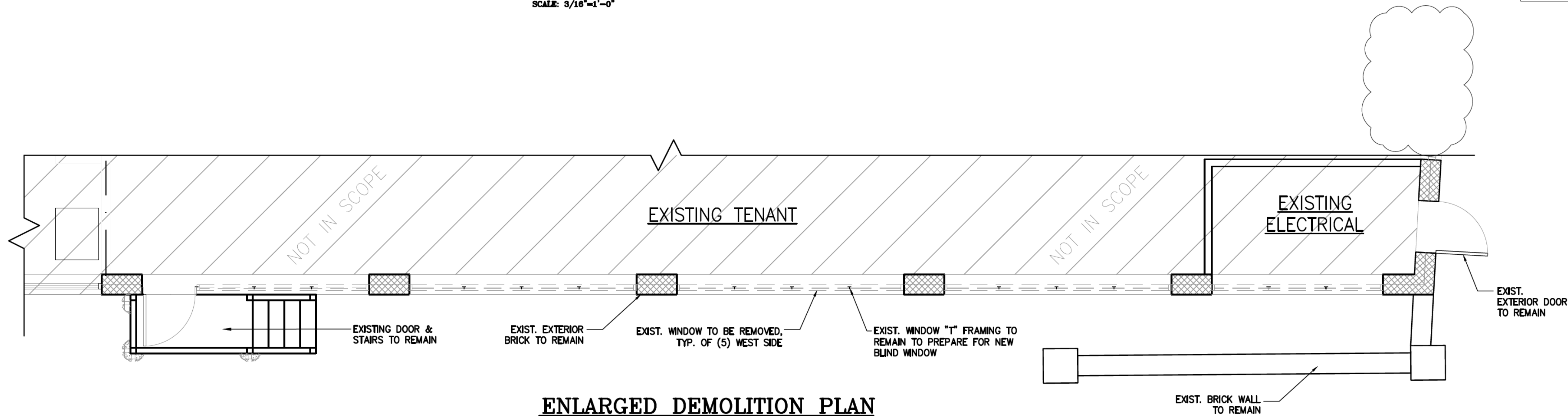
SHEET NO.

G2.0

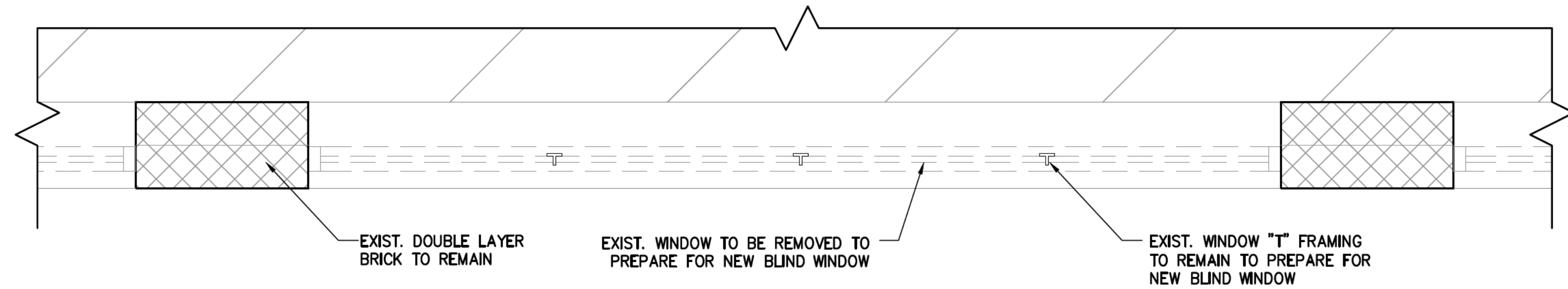
CODE DATA



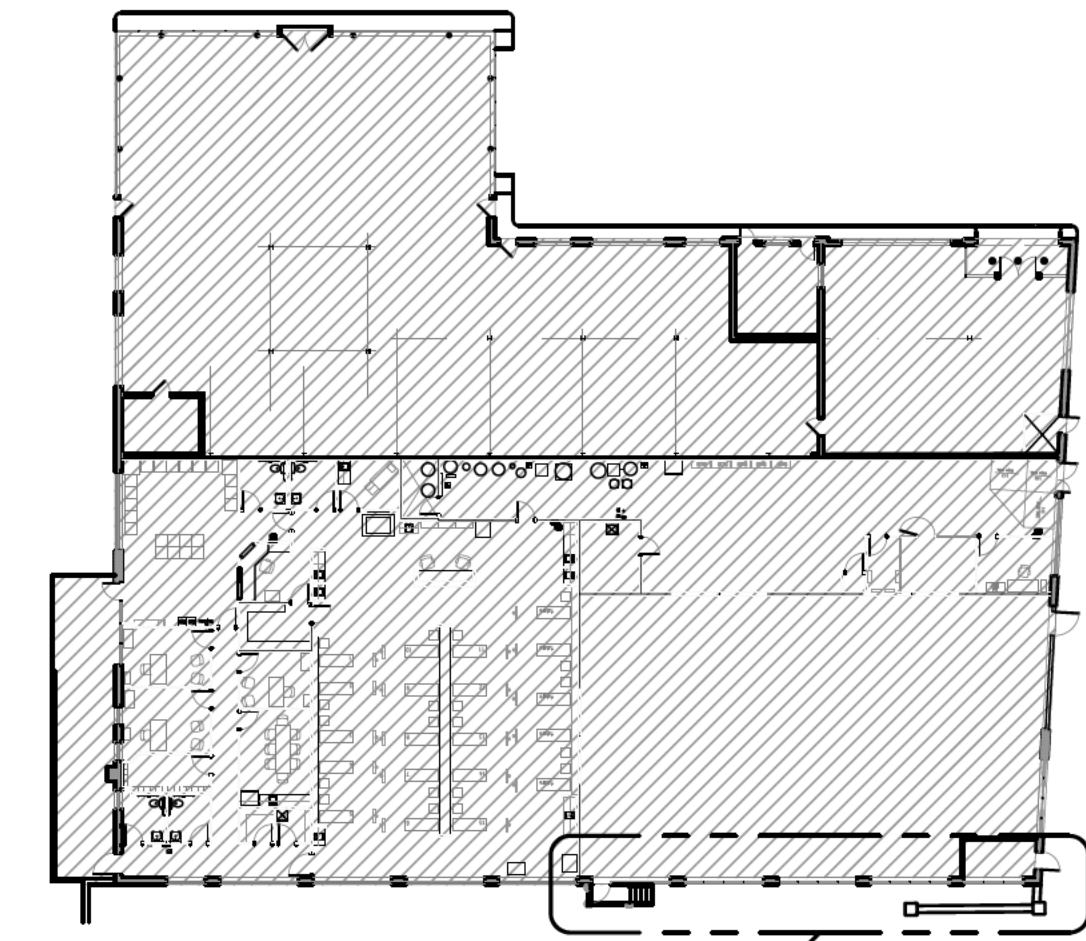
WEST DEMOLITION ELEVATION
SCALE: 3/16"=1'-0"



ENLARGED DEMOLITION PLAN
SCALE: 1/4"=1'-0"



ENLARGED EXISTING OPENING
SCALE: 3/4"=1'-0"



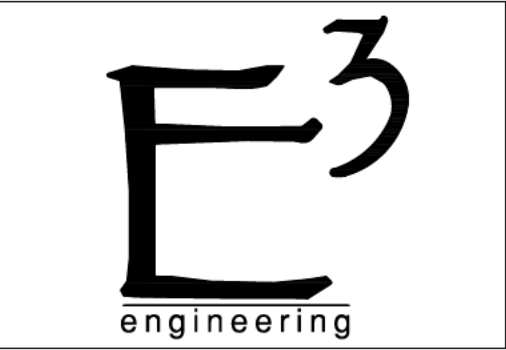
SEE ENLARGED PLANS BELOW

OVERALL EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"

- NOTES:
- EXISTING WINDOWS TO BE REMOVED TO PREPARE FOR NEW BLIND WINDOWS.
 - EXISTING WINDOW "T" FRAMING TO REMAIN TO PREPARE FOR NEW BLIND WINDOW, TYP. (5) ON THE WEST SIDE OF BUILDING.
 - G.C. TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

DOOR & WALL LEGEND

- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- EXISTING WALL TO REMAIN



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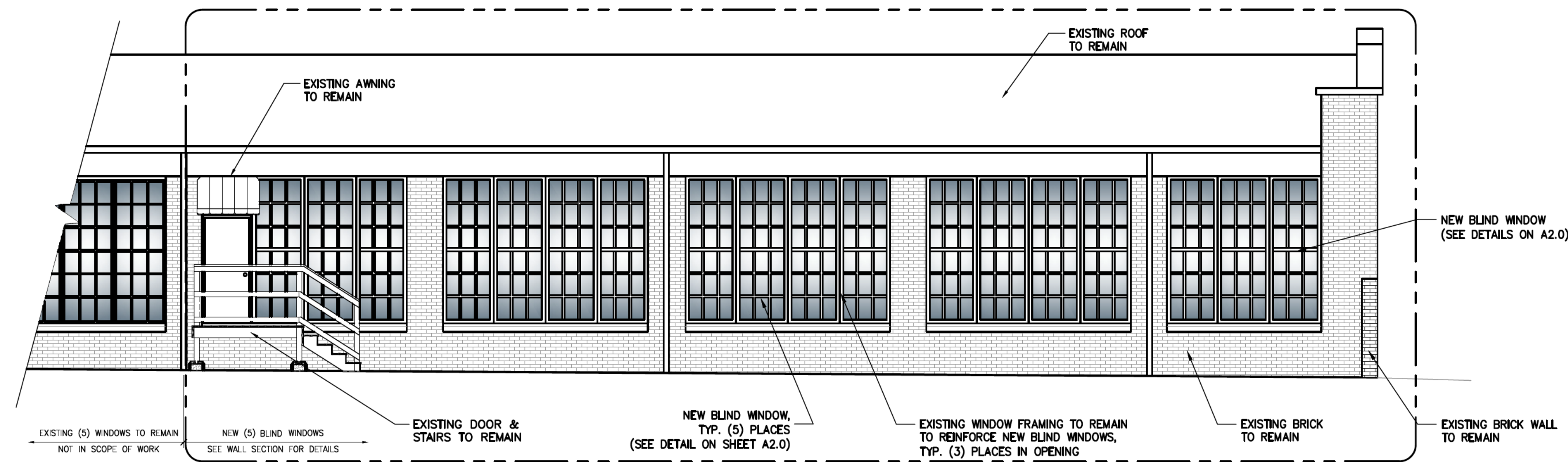
REVISIONS	Description	Approved
Date	NO WORK ON ST ANTHONY ST AS PER CRC COMMENTS	FAD
8.28.25		

201 ST. JOSEPH STREET
WINDOW REMODEL
201 ST. JOSEPH STREET,
MOBILE, AL. 36602

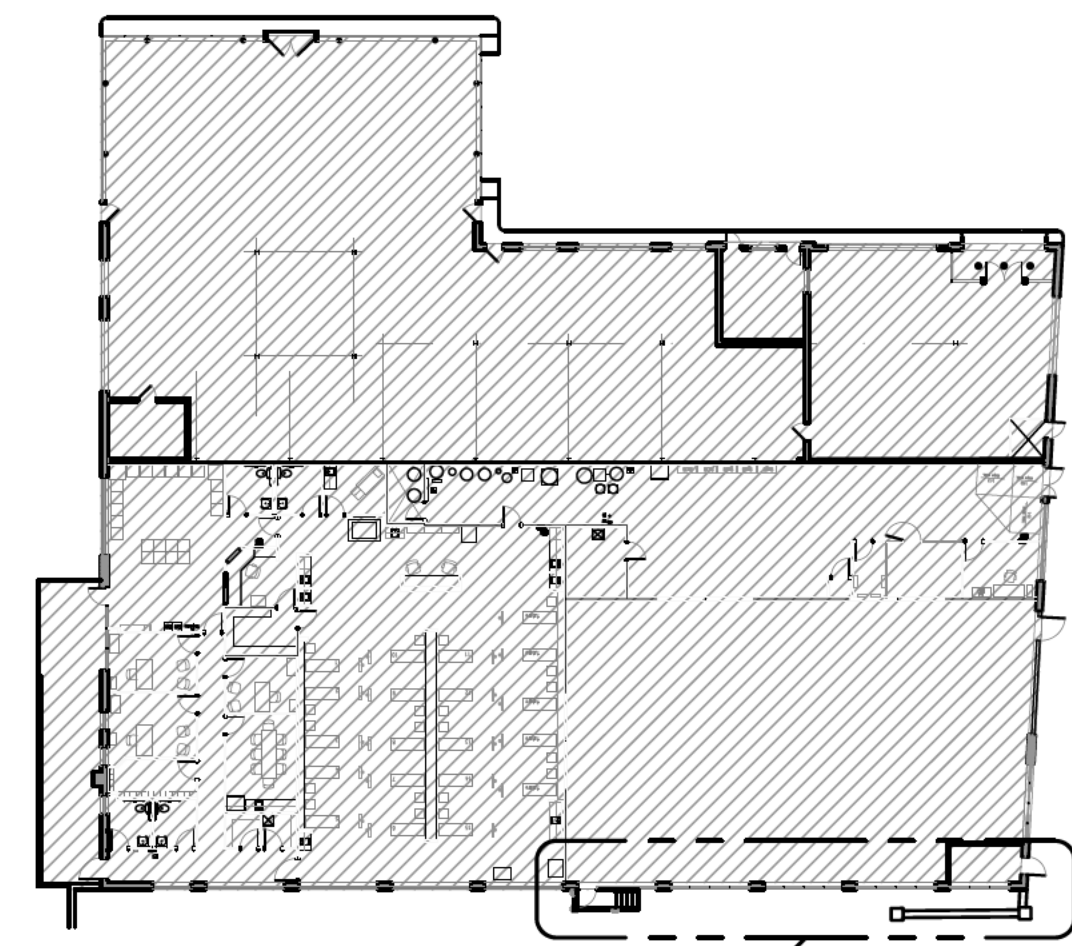
PRE-PERMIT
SUBJECT TO
CHANGE

JOB NO. 25-043
DATE: 08/13/2025
DRAWN BY: JBG
SCALE: SHOWN

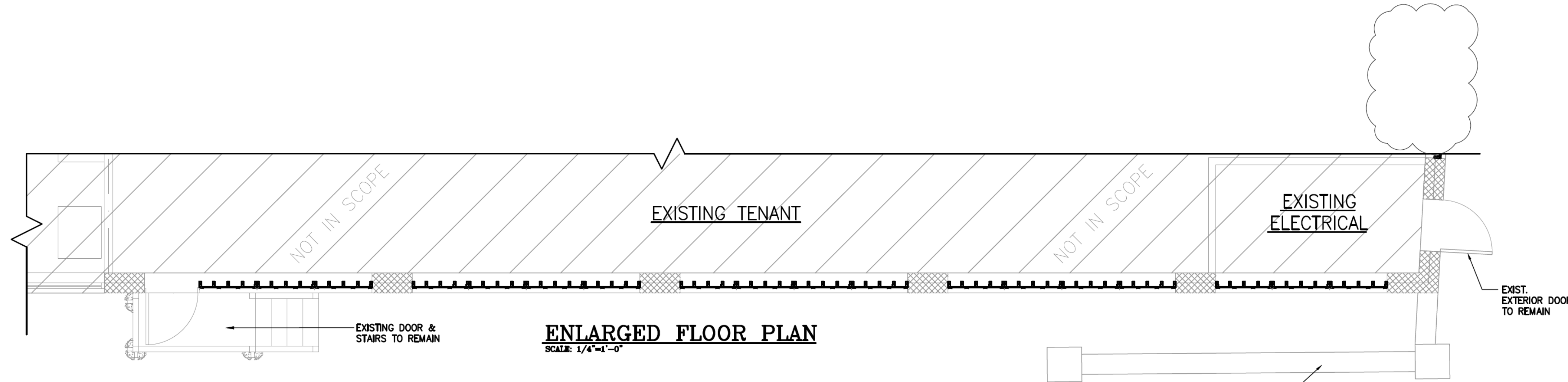
SHEET NO.
S1.0
DEMOLITION PLAN



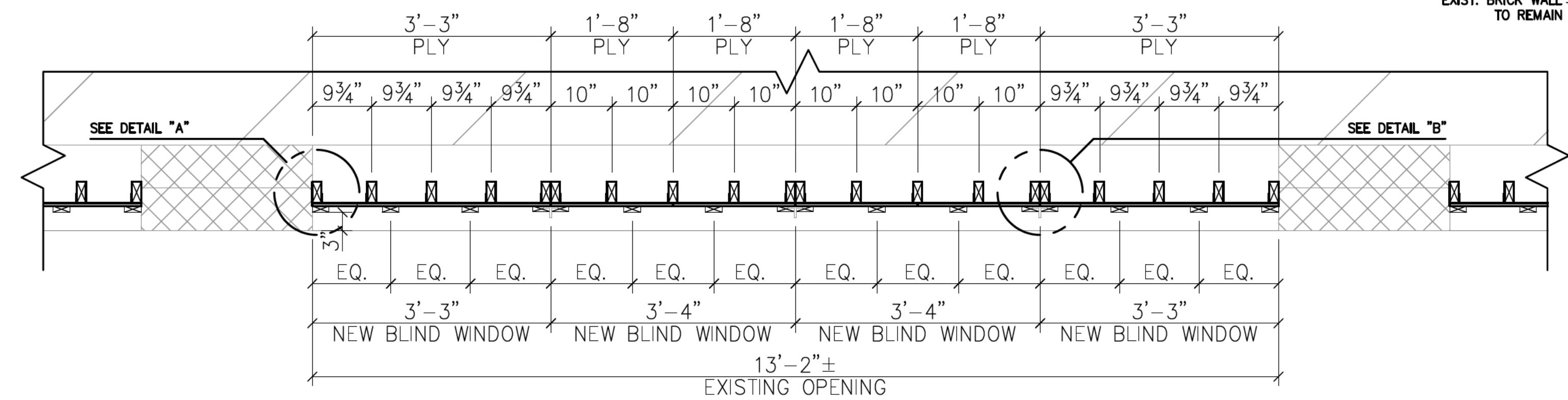
WEST ELEVATION
SCALE: 3/16"=1'-0"



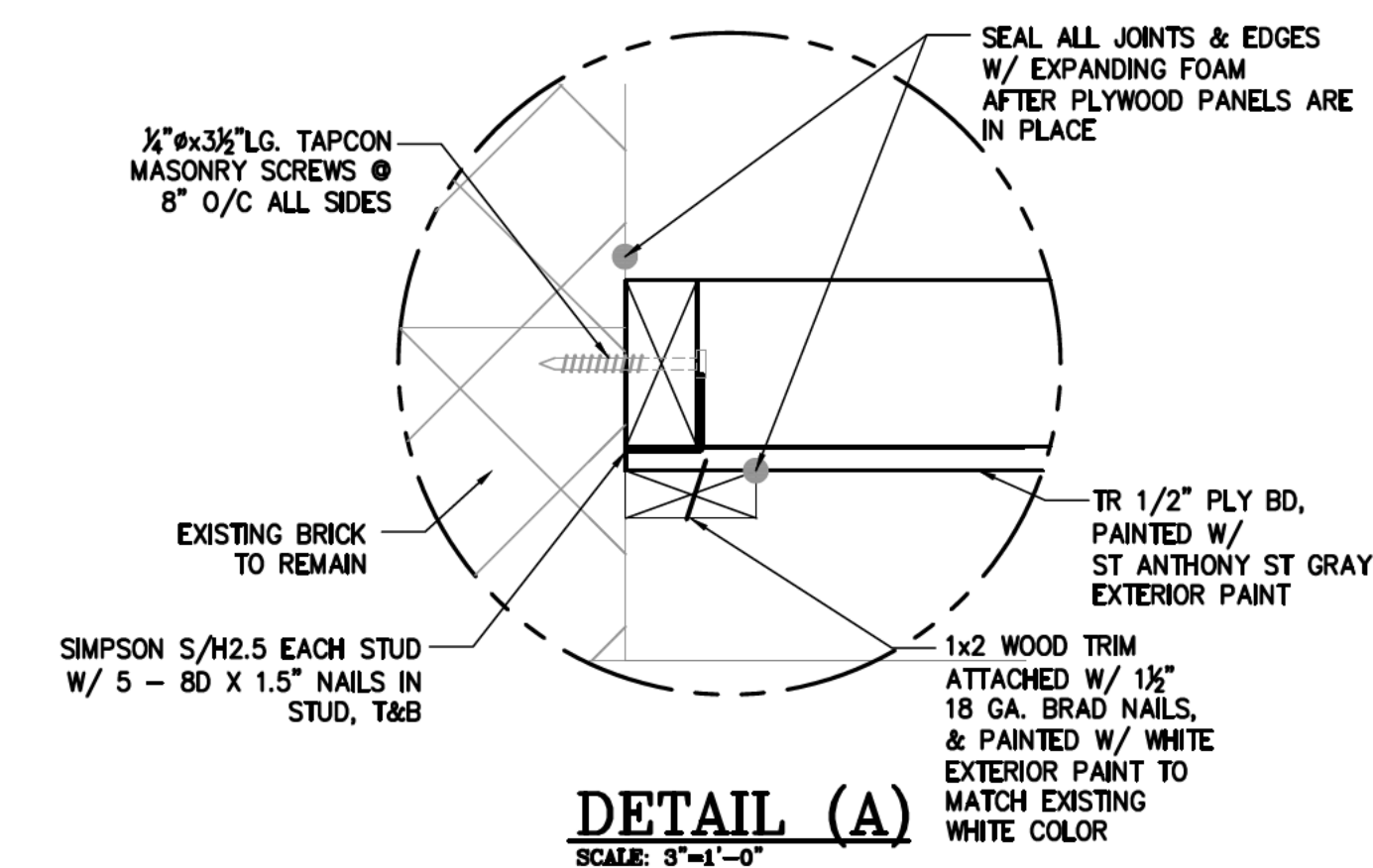
OVERALL EXISTING FLOOR PLAN
SCALE: 1/4"=1'-0"



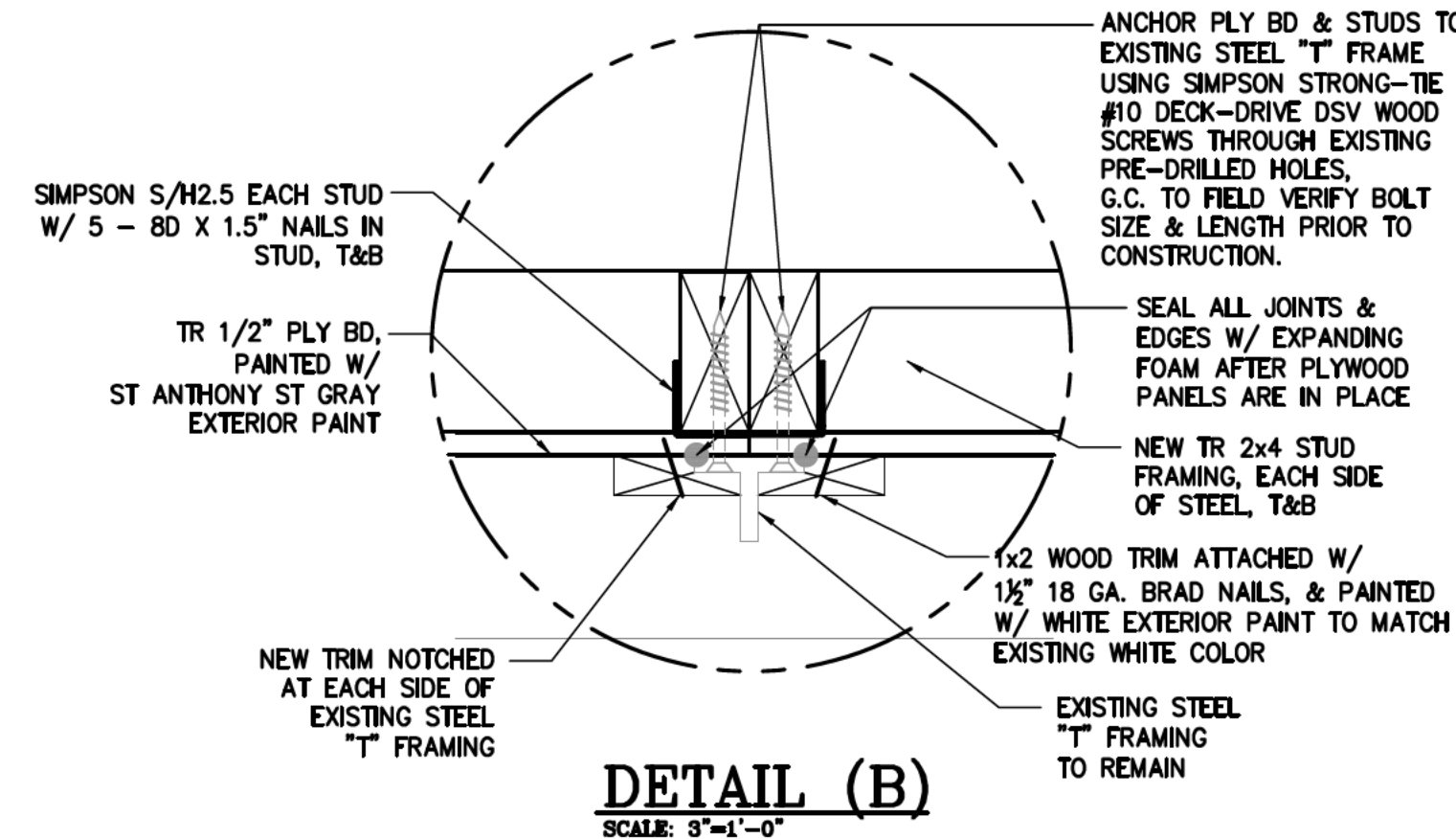
ENLARGED FLOOR PLAN
SCALE: 1/4"=1'-0"



ENLARGED FRAMING DETAIL
SCALE: 3/4"=1'-0"

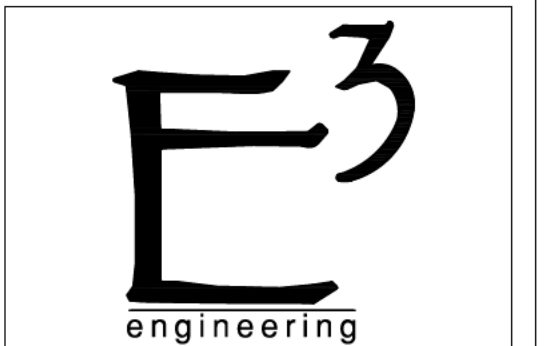
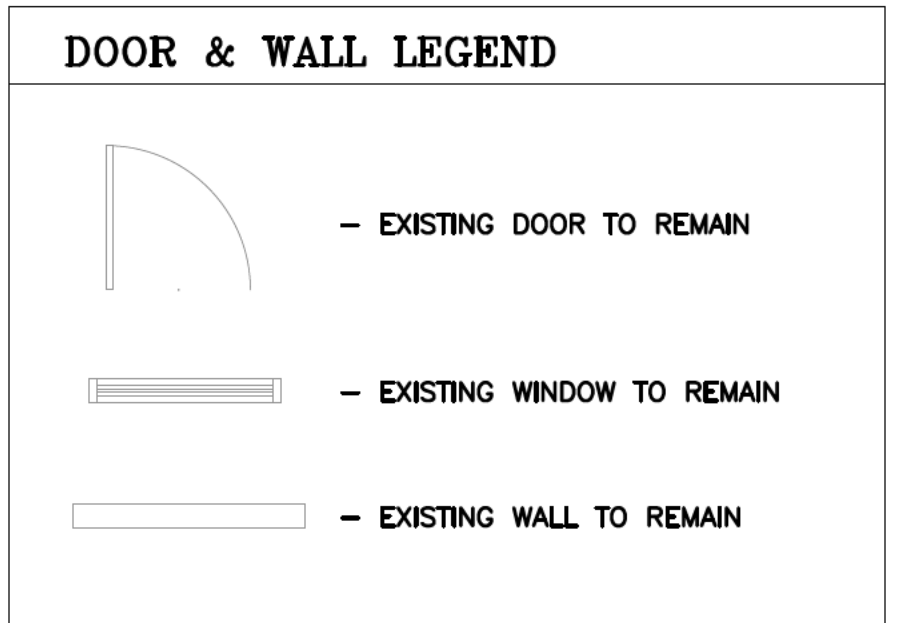


DETAIL (A)
SCALE: 3/8"=1'-0"



DETAIL (B)
SCALE: 3/8"=1'-0"

- NOTES:
1. ALL EXISTING BRICK TO REMAIN.
 2. SPECIFIED EXISTING WINDOW OPENINGS ARE TO BE FILLED WHILE UTILIZING EXISTING STEEL FRAMING.
 3. NEW 2X4 FRAMING AROUND EXISTING OPENING TO BE ANCHORED TO EXISTING BRICK W/ 1/2"x3/4" LG. TAPCON MASONRY SCREWS @ 8" O/C ALL SIDES



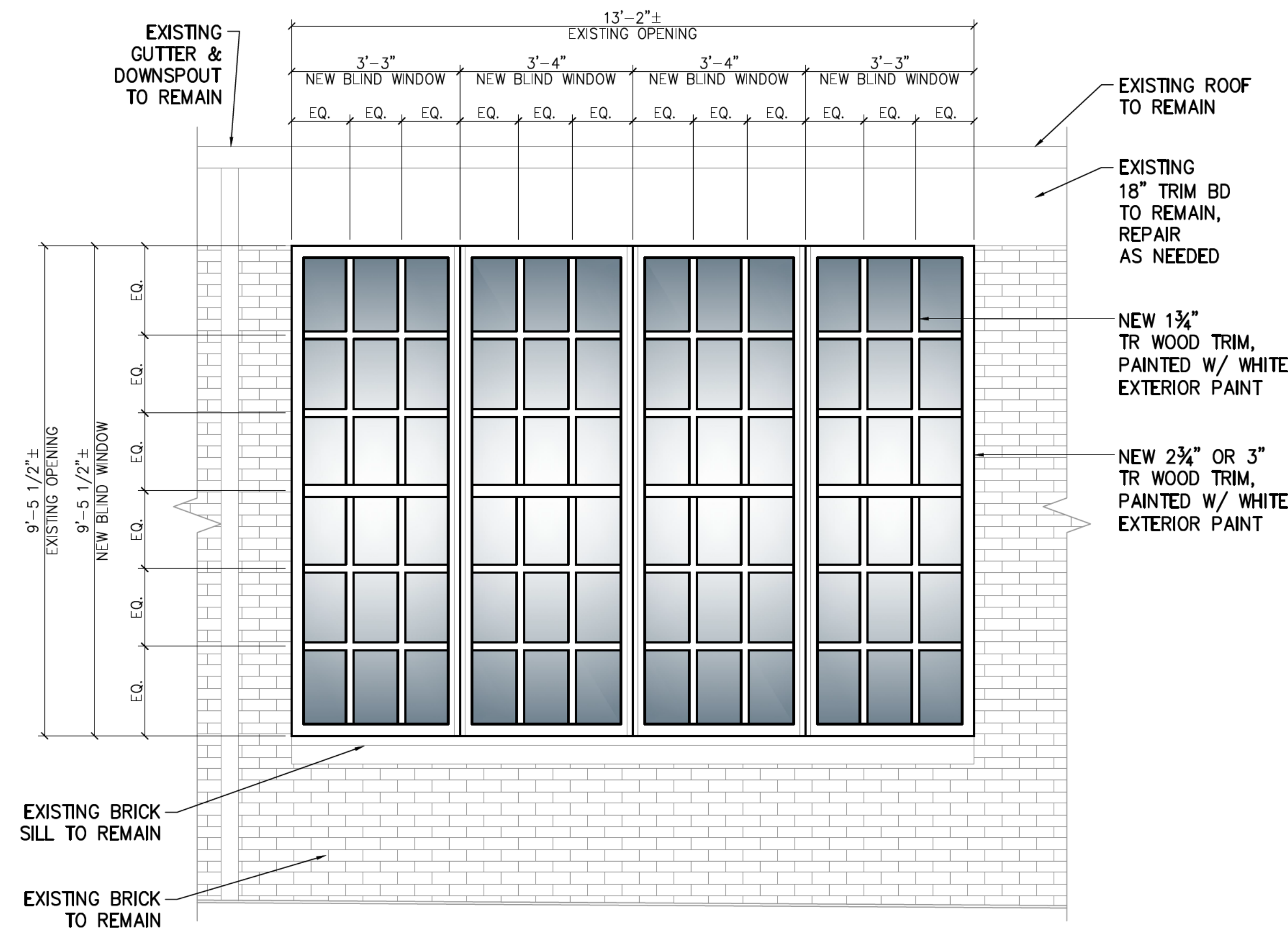
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REVISIONS	Date	Description	Approved
	8.28.25	NO WORK ON ST ANTHONY ST AS PER CRC COMMENTS	FAD

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WINDOW REMODEL
201 ST. JOSEPH STREET,
MOBILE, AL. 36602

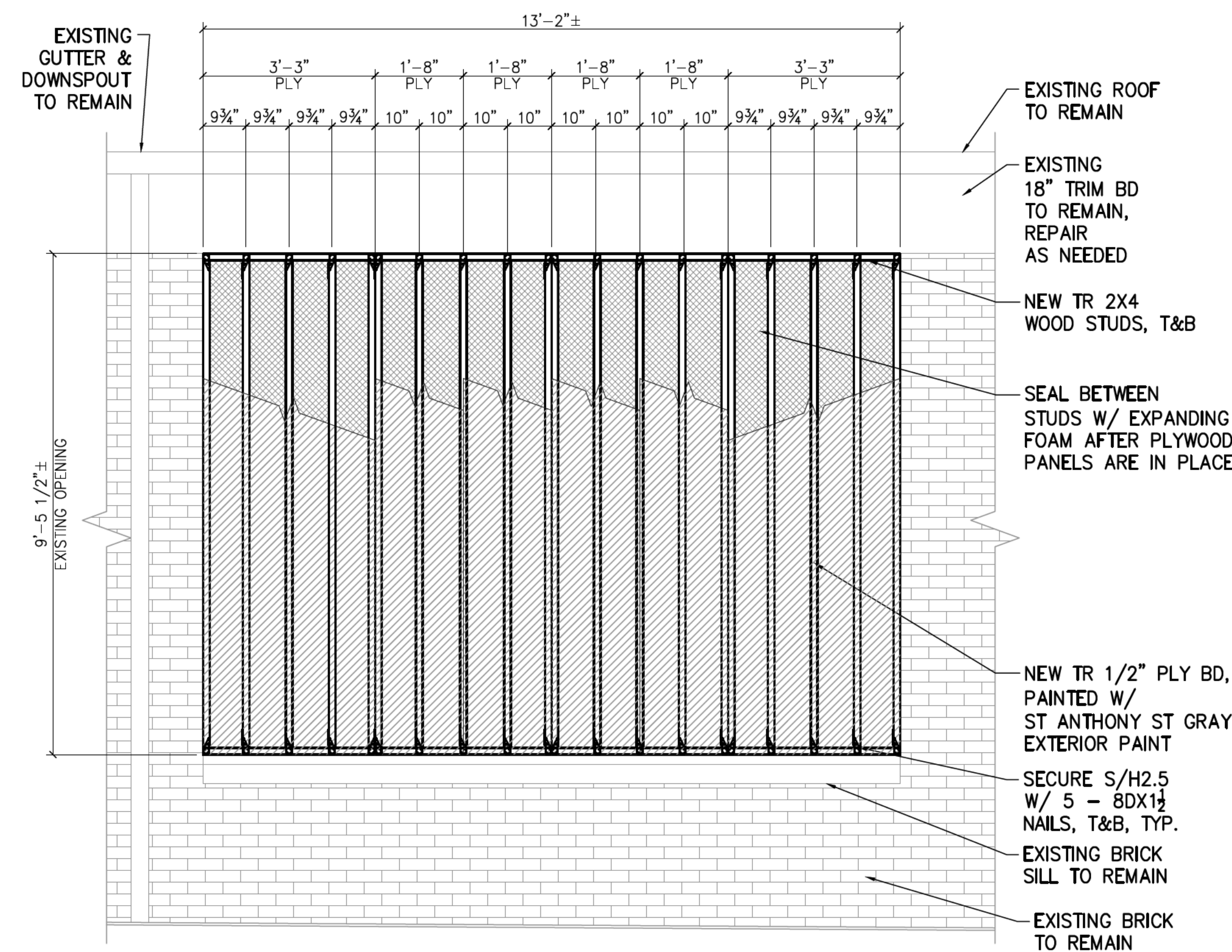
PRE-PERMIT
SUBJECT TO
CHANGE

JOB NO. 25-043
DATE: 08/13/2025
DRAWN BY: JBG
SCALE: SHOWN
SHEET NO.
S2.0
FLOOR PLAN

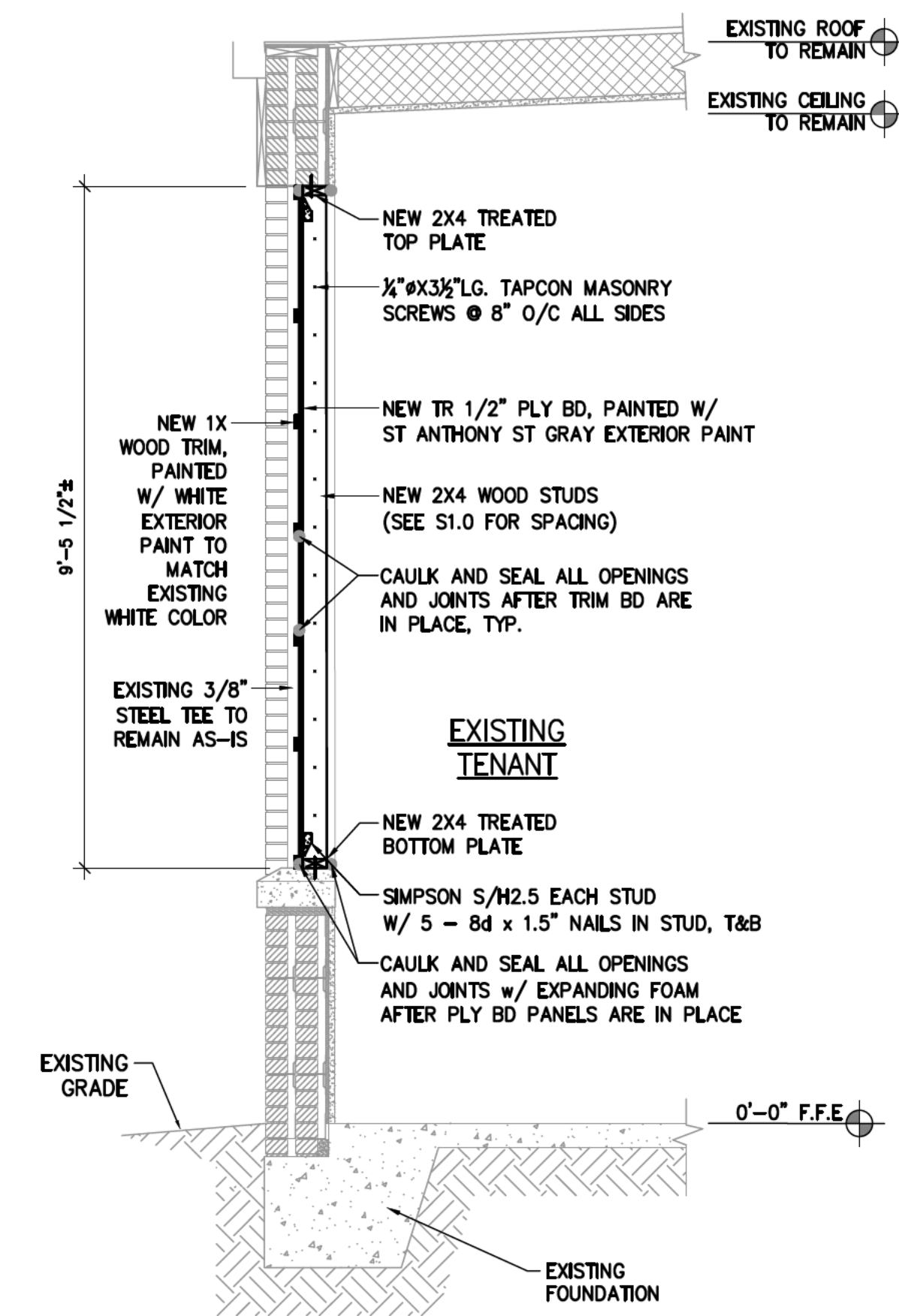


WEST WOOD TRIM ELEVATION
SCALE: 1/8"=1'-0"

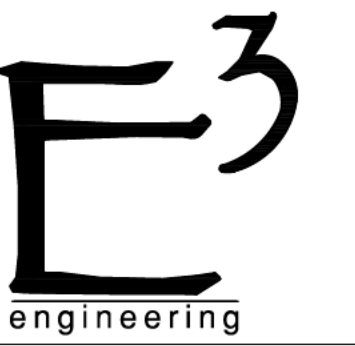
- NOTES:
1. ALL EXISTING BRICK TO REMAIN.
 2. SPECIFIED EXISTING WINDOW OPENINGS ARE TO BE FILLED WHILE UTILIZING EXISTING STEEL FRAMING..
 3. NEW 2X4 FRAMING AROUND EXISTING OPENING TO BE ANCHORED TO EXISTING BRICK W/ 1/4"x3 1/2" LG. TAPCON MASONRY SCREWS @ 8" O/C ALL SIDES



WEST WOOD FRAMING ELEVATION
SCALE: 1/8"=1'-0"



WEST BLIND WINDOW SECTION
SCALE: 1/8"=1'-0"



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REVISIONS	Description	Approved	Date
	NO WORK ON ST ANTHONY ST AS PER CRC COMMENTS	FAD	

201 ST. JOSEPH STREET
WINDOW REMODEL
201 ST. JOSEPH STREET,
MOBILE, AL. 36602

PRE-PERMIT
SUBJECT TO
CHANGE

JOB NO. 25-043
DATE: 08/13/2025
DRAWN BY: JBG
SCALE: SHOWN

SHEET NO.
S3.0
STRUCTURAL DETAILS

**Window Survey****08/14/2025**

Date of Application

201 St. Joseph Street

Address of Property

Overall Condition:
(select one)☐

Good

☐

Fair

☒

Poor

Description of Conditions:

Windows are cracked, broken. The metal rims are rusted and/or broken and can no longer hold windows in place. None of the window components are in functioning condition.

Window Component**Description of Issue/Problem****FRAME:**

Sill	please see above description
Jambs	
Exterior trim & stops	
Interior trim & stops	
Interior wall surface	

SASH:

Lowest rail	please see above description
Other rails & stiles	
Muntins & mullions	
Meeting rails (double- and single-hung)	
Glazing putty & gaskets	

FUNCTION:

Handles	please see above description
Movement mechanics	
Locks	
"Square"	
Weatherstripping	