



Agenda Item #2

Application 2025-34-CA

DETAILS

Location:

70 S. Georgia Avenue

Summary of Request:

Extend original gable roofline on west end

Applicant (as applicable):

Steve Stone/Dakinstreet Architects

Property Owner:

Mr. and Mrs. Burkett

Historic District:

Old Dauphin Way

Classification:

Contributing

Summary of Analysis:

- The proposed roof extension would simplify the original roof form and visually alter the overall mass of the structure
- The alteration would minimally impact the appearance of the structure from the street
- All other proposed alterations, repairs, and replacements included in the application will be reviewed at the staff level

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PROPERTY AND APPLICATION HISTORY

Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes “fine examples of commercial, institutional, and religious structures as well as 20th-century apartments.”

The property at 70 S. Georgia Avenue is a hipped roof, one-story frame dwelling with restrained Victorian detailing expressed in the Queen Anne style. Constructed c. 1902 by E. W. Faith, the east façade is articulated by a cross-gable bay window on the north end and deep front porch to the south sitting beneath the main roof and supported by decorative turned posts. The form of the building has been minimally altered, with most changes isolated to the west elevation. These include the enclosure of a rear porch, a small extension of the rear wall, and fenestration changes. The space under the steeply pitched roof has either always been used as living space or was converted to accommodate living space at some point. An open deck has also been added to the north end of the same elevation.

According to HD vertical files, this property has never appeared before the Architectural Review Board.

SCOPE OF WORK

1. Extend roof to the west to create a west facing gable. The new main gable would be on the same plane as the existing projecting gable on the north end of the elevation.

APPLICABLE STANDARDS (*Design Review Guidelines for Mobile's Historic Districts*)

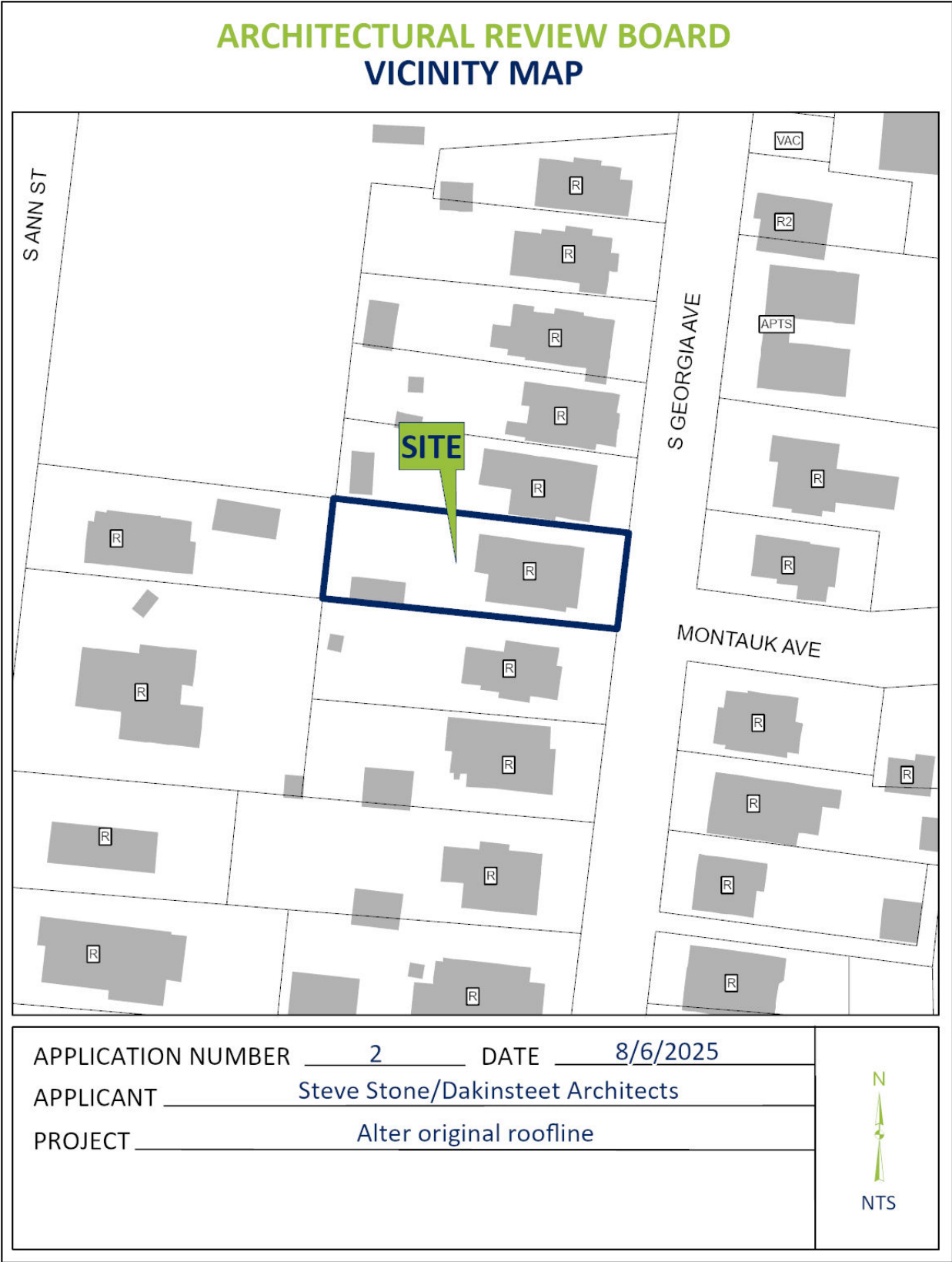
1. **5.10** Preserve the original form of a historic roof.
 - Maintain the original pitch.
 - Preserve decorative elements, including crests and chimneys.

STAFF ANALYSIS

The historic dwelling at 70 S. Georgia Avenue is a contributing resource in the Old Dauphin Way Historic District. The application under review seeks approval to extend the original hipped roof westward to create a gable form on the west (rear) elevation. All other proposed alterations included in the application and on the submitted plans are eligible for staff level review and are not being considered as part of this analysis.

The *Guidelines* call for the preservation of the original form of a historic roof, adding that the original pitch should be maintained. (5.10) The alteration proposed in the subject application would modify the form of the roof considerably on the west elevation, along with the west end of the north and south sides of the structure. The result of the change would create a more simplified roof form, a slight departure from the more complex shapes and steep pitches associated with Queen Anne style roof forms. The change in roof shape would disrupt the original overall massing of the structure when viewed from the side elevations.

It must be noted that the proposed change would only be visible from the side and rear elevations. It would not be observable from the street and does not impact the architectural integrity of the façade. Further, the exterior walls of the west (rear) elevation have undergone several previous alterations, leaving little of the original configuration. Multiple gables, which would occur on the west elevation as a result of the proposed roof extension, are also a typical features of Queen Anne style roof forms.



Site Photos – 70 S. Georgia Avenue



1. View of property, looking NW



2. View of elevation, looking NW



3. View of elevation, looking SW



4. View of rear elevation, looking E



5. View of neighboring property to the with similar roof form. Looking NW



City of Mobile • Historic Development

Architectural Review Board Application

07/07/25

Date of Application

Date Received

7 South Georgia Avenue

Address of Property

Does any party hold a façade easement on this property? ☐ No ☐ Yes

If yes, evidence of the easement holder's approval of the specific work outlined in this application must be provided prior to the consideration of this application by the ARB.

\$275,000

Cost of Project (Required)

Fee Paid: ☐ \$ _____ Check # _____

Elizabeth Burkett

Owner Name

Phone

elanders86@gmail.com

Email

70 S Georgia Ave

Address

36604

Zip Code

If Owner is a legal entity such as a corporation, limited liability company, limited liability, partnership or similar, you should attach a copy of the formation documents for the Owner, showing the date of formation and that such have been filed and accepted by the Secretary of State.

Steve Stone

Owner's Representative Name

251-382-8317

Phone

steve@dakinstreet.com

Email

70 N. Joachim Unit C

Address

36602

Zip Code

Describe the Proposed Work:

Exterior work to include extension of rear (west) gable roof to expand attic level. All colors to be pulled from approved Historic palettes.

South facade : remove 1 non-original diamond window and tooth in with in-kind wood siding.

West facade : remove 2 non-original windows, and 2 non-original doors. remove low non-original addition roof

Extend the attic level gable to flush with the rear wall. Secondary smaller gable to be rebuilt in-kind.

The rear non-original deck will be removed and a temporary wood stair and rail provided for access. The eventual design of the deck will

be submitted to the ARB under a separate application once complete. New asphalt architectural shingles for the entire roof.

Build Mobile, PO Box 1827, Mobile, Alabama 36633

For more information: www.BuildMobile.org | historicdevelopment@cityofmobile.org | 251.208.7281

Visit our help window: Mobile Government Plaza, 205 Government Street, Third Floor South Tower

Revised August 2023

Does the work involve demolition of a structure? ☒ **No** ☐ **Yes** Please fill out demolition portion of application.

Does the proposed work involve signage? ☒ **No** ☐ **Yes**

Will the proposed work require the removal of any trees from the site? ☒ **No** ☐ **Yes**

If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting Requirements.

REQUIRED PLANS: If plans are required for the project, please attach the following:

- Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,
- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (<https://www.buildmobile.org/architectural-review-board/>). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at <https://www.buildmobile.org/architectural-review-board/>. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Use the Following Checklist to Ensure a Complete Application
Complete each box that applies:

NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES

1. **One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:**
 - a. ☒ A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
 - b. ☒ Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
 - c. ☒ Square footage of the original building with square footage of all additions including the proposed addition;
 - d. ☒ A drawing, with dimensions, of all affected exterior elevations;
 - e. ☒ Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
 - f. ☒ Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
 - g. ☒ Paint samples and plan keyed to location of each color. (See below)
2. **Photographs of the subject property to be worked on and surrounding buildings are required.**
☒ Subject Property photographs
☒ Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS

For work which includes changes to the exterior of existing buildings, the following is required:

1. ☐ Elevation drawings with dimensions and material details
2. ☐ Floor plans
3. ☐ Photographs of each face of the building to be renovated with details of the areas of work.

EXTERIOR PAINTING

Period color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:

_____ Manufacturer
_____ main body color
_____ trim or decorative features
_____ porch deck
_____ accent areas: lattice, shutters, etc.
_____ other areas

FENCES, DRIVES AND GATES

1. ____ A drawing or photograph of the type of fence, wall or gate with the height noted.
2. ____ A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities.
3. ____ A description of the materials to be used.
4. ____ Paint samples, if the fence, wall or gate is to be painted.

SIGNAGE

Width of sign ____ feet ____ inches

Height of sign: ____ feet ____ inches

Single Face ____ Double Face ____

Height (from ground level to top of sign) ____ feet ____ inches

Height (from ground level to bottom of sign) ____ feet ____ inches

Total Square Footage of Signage: _____ square feet. (Both sides if double-faced)

General Description

Type of Sign: ☐ Monument ☐ Free Standing ☐ Projecting ☐ Wall ☐ Banner ☐ Sandwich Board

How will sign be mounted:

Sign Materials (sample materials may be requested by the Review

Board): _____

Describe type of lighting to be used: _____

Linear front footage of principle building: ____ feet ____ inches.

Square footage of Existing Signage: ____ feet ____ inches N/A ____

Include in Application:

____ Scaled colored renderings of the requested sign; or photographs with dimensions

____ Photographs of the building

____ A site plan or building elevation showing the location of the proposed signage For specific requirements, refer to *Sign Design Guidelines for Mobile's Historic District and Government Street*.

DEMOLITION APPLICATION

Purchase Date: _____ Purchase Price: _____

Current appraised value of the property? _____ (N/A if Not Available)

Was the property occupied at time of purchase? _____ What was the property's condition? _____

What alternatives to demolition have you considered for this property?

Have you listed the property for sale or lease since your purchase? ☐ Yes ☐ No

If "Yes", what was your asking price? _____

How many offers did you receive? _____

List any options currently held for the purchase of the property, including the price received for such option, the conditions placed on such option and the date of expiration of such option:

Do you have construction plans ready to complete the replacement project? ☐ Yes ☐ No

If so, how much have you expended on the plans? _____

What are the dates of these expenditures? _____

In order to determine your ability to complete the replacement project, do you have the following:

Performance Bond ☐ Yes ☐ No

Letter of Credit ☐ Yes ☐ No

Trust for completion of improvements ☐ Yes ☐ No

Other evidence of financial ability ☐ Yes ☐ No

Letter of commitment from a financial institution ☐ Yes ☐ No

**"In no event shall the Board entertain any application for the demolition or relocation of any Historic Property unless the applicant also presents at the same time the post-demolition or post-relocation plans for the site."
Ordinance #44-084**

An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.
SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.



Digitally signed by steven stone
DN: cn=steven stone, o=dakinstreet, ou,
email=steve@dakinstreet.com, c=US
Date: 2025.07.03 09:55:24 -05'00'

Signature

07/3/25

Date

MOBILE, ALABAMA

RESPONSIBILITY MATRIX

MOBILE | ALABAMA

DEMOLITION GENERAL NOTES

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBED BY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSEING OF MASONRY, AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE-TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL.

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PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.

CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.

GENERAL: PROTECTION
SURROUNDING AND ADJACENT MATERIALS AND PLANTS SHALL BE COVERED AND CAREFULLY PROTECTED DURING THE CLEANING OPERATION. SOIL BELOW WALLS TO BE CLEANED SHALL BE NEUTRALIZED AND EXCESS CHEMICALS SHALL BE WASHED AWAY OR GATHERED AND DISPOSED OF ELSEWHERE.

GENERAL: CLEAN UP
AT END OF CLEANING ALL DEBRIS REMOVED SHALL BE GATHERED TOGETHER AND HAULED AWAY FROM THE SITE AND DISPOSED OF ELSEWHERE IN ACCORDANCE WITH ALL APPROPRIATE REGULATIONS.

GENERAL: PROTECTION OF BUILDINGS
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SPECIFIC DEMOLITION PLANS
SEE DEMOLITION PLAN AS WELL AS REVISED PLANS, ELEVATIONS, SECTIONS, DOOR AND ROOM FINISH SCHEDULES AND VARIOUS DETAILS FOR WORK TO BE DONE.

GENERAL - DEMOLITION SCOPE
DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

GENERAL - PROTECTION OF STRUCTURE
THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAY'S WORK OR AT THE APPROACH OF RAIN.

GENERAL - DEMOLITION AND REMOVAL
DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND NOTED ON THE DRAWINGS.

- 1) REMOVAL OF CERTAIN WOOD, GYPSUM BOARD WALLS, FLOORS, DECKS, FRAMING, NAILERS AND CEILINGS.
- 2) REMOVAL OF CERTAIN DOORS.
- 3) REMOVAL OF CERTAIN TRIM.

NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

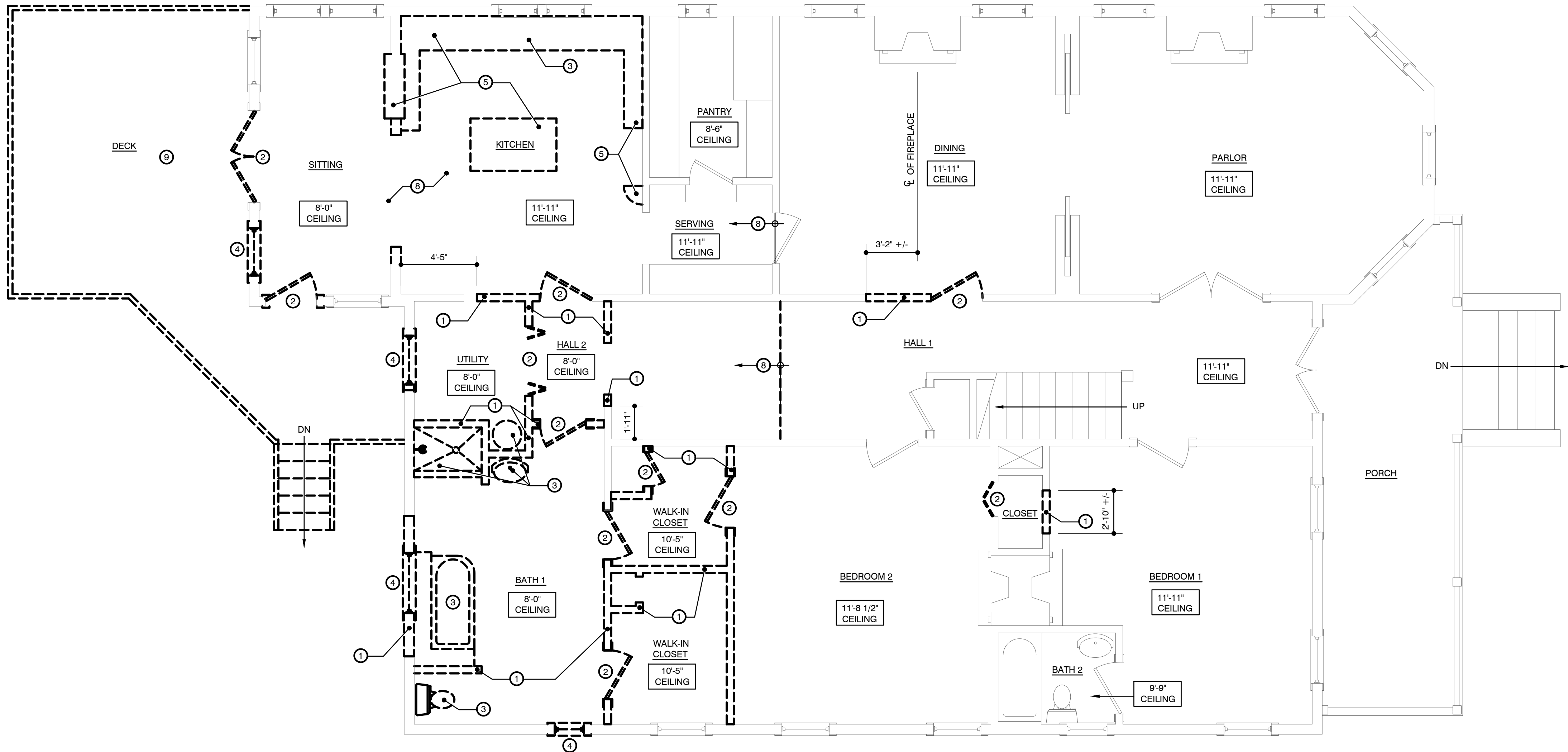
AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS.

GENERAL HARDSCAPE PROTECTIONS:
THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.

DEMOLITION KEYNOTES

- | | | | |
|---|---|----|---|
| 1 | REMOVE EXISTING WALL. IF LOAD-BEARING, PROVIDE ADEQUATE TEMPORARY SHORING AS NEEDED. TAKE ALL PRECAUTIONS TO LIMIT DAMAGE TO ADJACENT WALLS, FLOORS, AND CEILINGS. FLOORING TO BE PATCH WITH IN-KIND MATERIAL TO MATCH EXISTING AND ADJACENT. | 6 | REMOVE EXISTING CHIMNEY TO BELOW ATTIC SUBFLOOR. ROOF TO BE REPAIRED/REPLACED. |
| 2 | REMOVE DOOR AND FRAME. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED | 7 | REMOVE FIREPLACE, MANTEL, AND HEARTH TO BELOW ATTIC SUBFLOOR. |
| 3 | REMOVE PLUMBING FIXTURE. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE. | 8 | REMOVE FINISH FLOOR AND BASE TO SUBFLOOR |
| 4 | REMOVE WINDOW. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED | 9 | REMOVE EXISTING DECK AND RAIL. PROVIDE TEMPORARY WD STAIR AND SAFETY RAIL DURING CONSTRUCTION |
| 5 | REMOVE EXISTING CABINETRY AND APPLIANCES | 10 | REMOVE ROOFING AND ROOF FRAMING IN PREPARATION FOR NEW ROOF ADDITION. COORDINATE WITH STRUCTURAL DRAWINGS FOR BRACING AND NEW FRAMING |
| | | 11 | REMOVE EXISTING ROOFING AND PAPER DOWN TO SHEATHING IN PREPARATION FOR NEW ROOF |

REMOVE EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS AS NECESSARY TO ALLOW FOR NEW WORK PER PLANS, BUT TAKING ALL PRECAUTIONS TO LIMIT DAMAGE AND MAINTAIN FUNCTIONALITY FOR THE OWNER DURING CONSTRUCTION



1 FIRST FLOOR DEMO PLAN

1/4"=1'-0"



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DEMOLITION KEYNOTES

1

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2

REMOVE DOOR AND FRAME. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

3

REMOVE PLUMBING FIXTURE. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE.

4

REMOVE WINDOW. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

5

REMOVE EXISTING CABINETRY AND APPLIANCES

6

REMOVE EXISTING CHIMNEY TO BELOW ATTIC SUBFLOOR. ROOF TO BE REPAIRED/REPLACED.

7

REMOVE FIREPLACE, MANTEL, AND HEARTH TO BELOW ATTIC SUBFLOOR.

8

REMOVE FINISH FLOOR AND BASE TO SUBFLOOR

9

REMOVE EXISTING DECK AND RAIL. PROVIDE TEMPORARY WD STAIR AND SAFETY RAIL DURING CONSTRUCTION

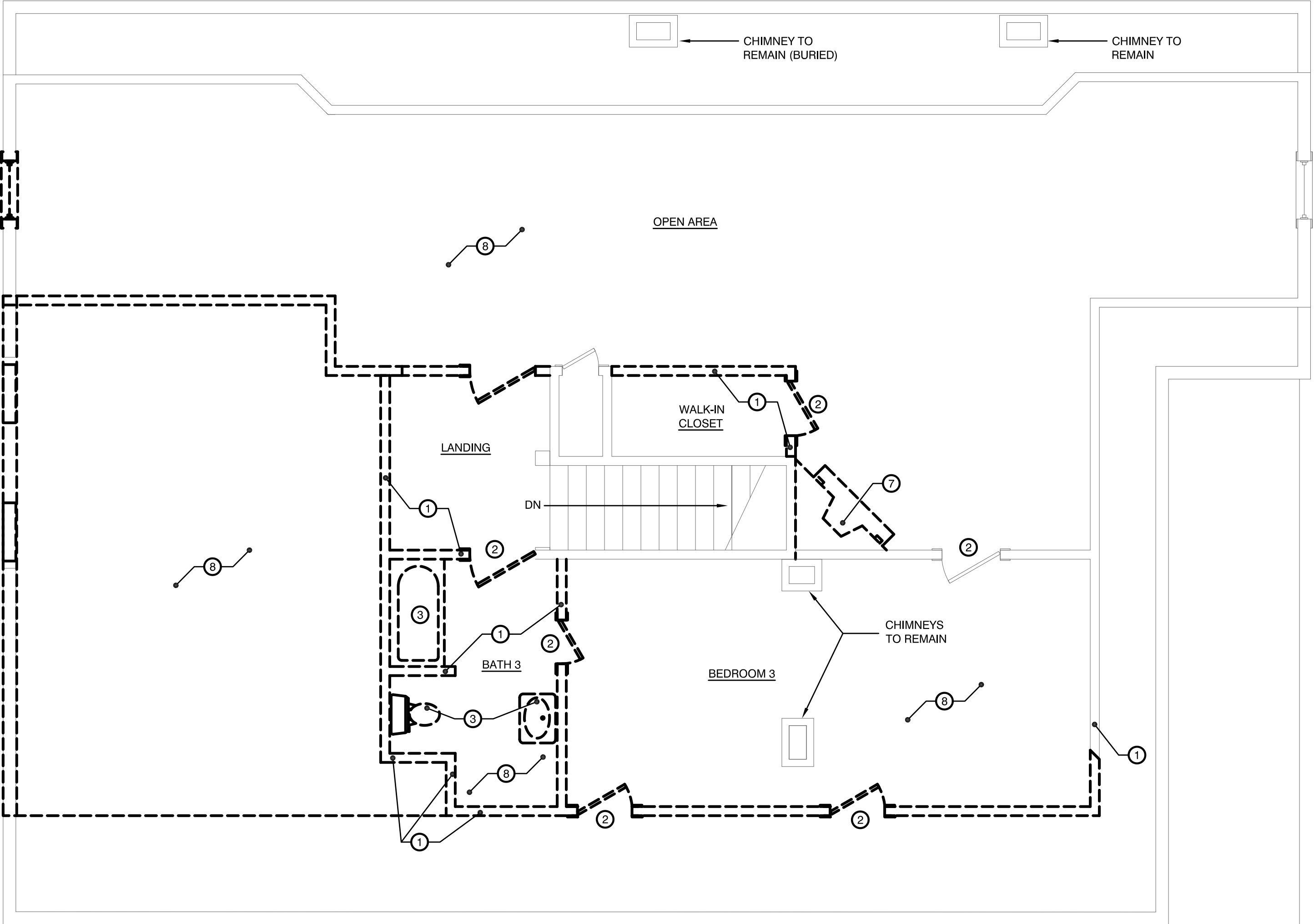
10

REMOVE ROOFING AND ROOF FRAMING IN PREPARATION FOR NEW ROOF ADDITION. COORDINATE WITH STRUCTURAL DRAWINGS FOR BRACING AND NEW FRAMING

11

REMOVE EXISTING ROOFING AND PAPER DOWN TO SHEATHING IN PREPARATION FOR NEW ROOF

REMOVE EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS AS NECESSARY TO ALLOW FOR NEW WORK PER PLANS, BUT TAKING ALL PRECAUTIONS TO LIMIT DAMAGE AND MAINTAIN FUNCTIONALITY FOR THE OWNER DURING CONSTRUCTION



DEMOLITION GENERAL NOTES

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

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THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

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GENERAL - DEMOLITION AND REMOVAL
DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND NOTED ON THE DRAWINGS.

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DEMOLITION KEYNOTES

- | | |
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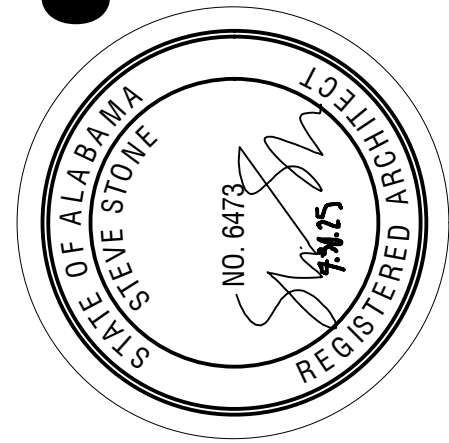


2 NORTH ELEVATION AS-BUILT/DEMO
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dakinstreetarchitects



70 SOUTH GEORGIA ST
RENOVATIONS

ISSUES + REVISIONS
ISSUE FOR PERMIT
04.28.25

EXTERIOR
ELEVATIONS
AS-BUILT/
DEMOLITION

AD1.3

MOBILE | ALABAMA

70 n joachim st | unit c- | mobile, al | 36606 | 251.382.8317

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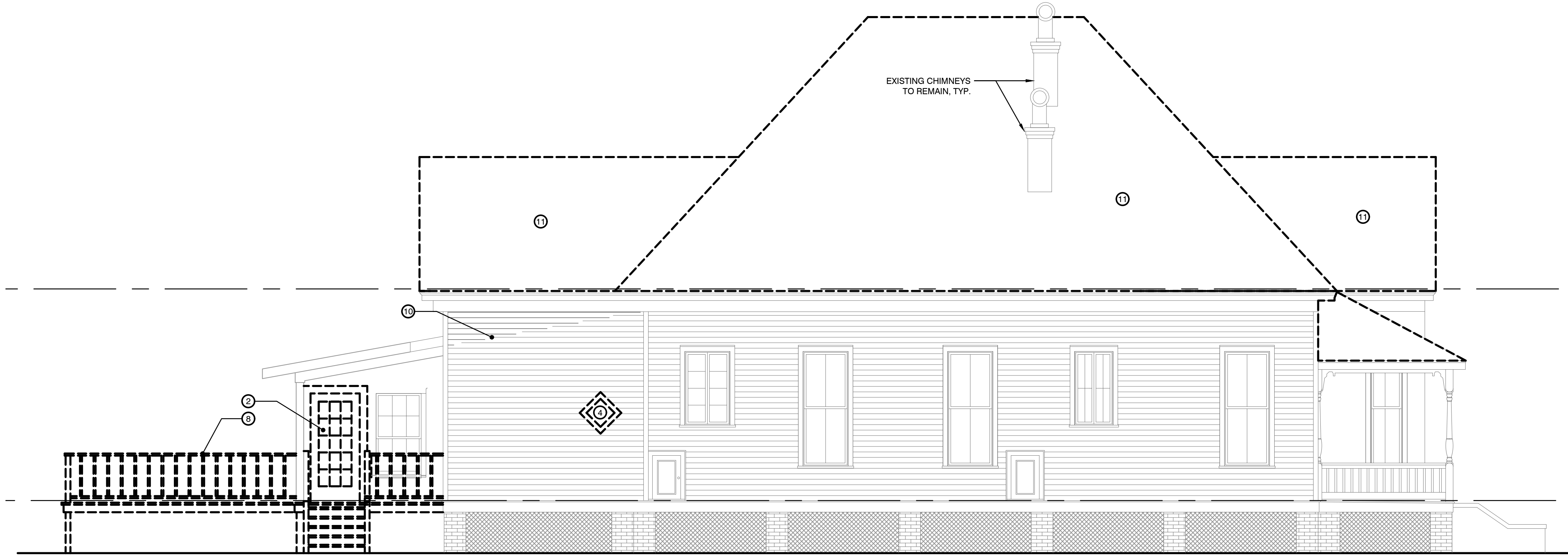
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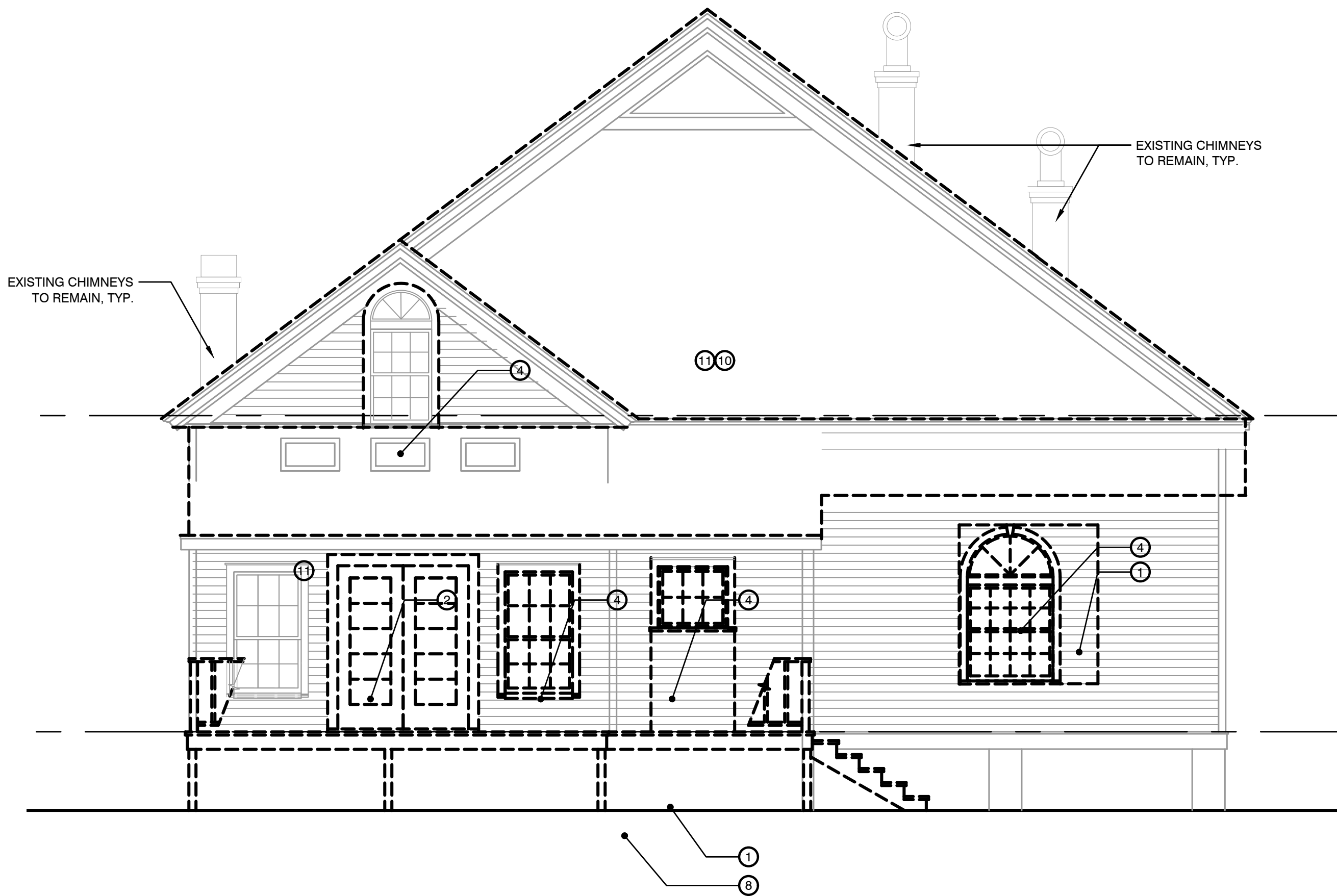
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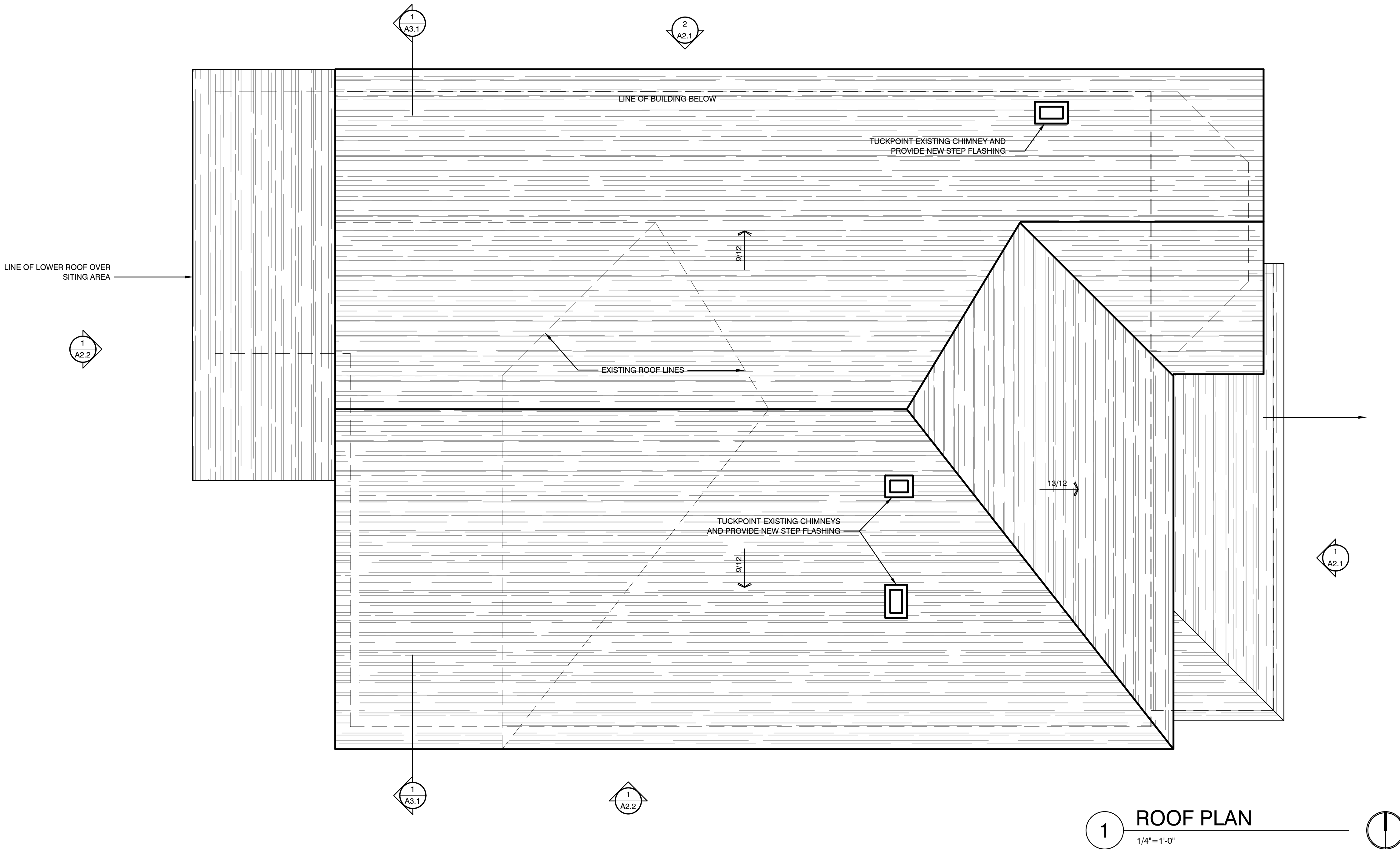
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2 SOUTH ELEVATION AS-BUILT/DEMO
1/4" = 1'-0"



1 WEST ELEVATION AS-BUILT/DEMO
1/4" = 1'-0"



PARTITION TYPES

1 NON LOAD-BEARING GYP PARTITION
2x6 STUDS WHERE NOTED

1 LAYER 1/2" SHEETROCK EACH SIDE
($\frac{1}{2}$ " GREENBOARD BOARD AT WET
LOCATIONS).

2x4 WD STUDS @ 16" O.C.

2 NON LOAD-BEARING GYP PARTITION

1 LAYER 1/2" SHEETROCK ONE SIDE
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2x4 WD STUDS @ 16" O.C.

R-19 BATT INSULATION, TYP.

DOOR SCHEDULE							
FLOOR	MARK	SIZE	MATERIAL	TYPE	FRAME	HDW	REMARKS
1	1	6'-0" x 6'-6"	WD/GLS	1	WD	TBD	
1	2	3'-0" x 6'-6"	WD/GLS	2	WD	TBD	
1	3	2'-6" x 6'-6"	WD	3	WD	TBD	
1	4	3'-0" x 6'-6"	WD	4	WD	TBD	POCKET DOOR
1	5	2'-6" x 6'-6"	WD	4	WD	TBD	
1	6	3'-0" x 6'-6"	WD	4	WD	TBD	POCKET DOOR
1	7	2'-6" x 6'-6"	WD	5	WD	TBD	SLIDER
1	8	2'-6" x 6'-6"	WD	5	WD	TBD	SLIDER
1	9	2'-6" x 6'-6"	WD	3	WD	TBD	
2	10	3'-0" x 6'-6"	WD	3	WD	TBD	
2	11	3'-0" x 6'-6"	WD	3	WD	TBD	
2	12	2'-6" x 6'-6"	WD	3	WD	TBD	
2	13	4'-0" x 6'-6"	WD	3	WD	TBD	SLIDING DOUBLE CLOSET
2	14	4'-0" x 6'-6"	WD	3	WD	TBD	SLIDING DOUBLE CLOSET
2	15	2'-6" x 6'-6"	WD	4	WD	TBD	POCKET
2	16	2'-6" x 6'-6"	WD	3	WD	TBD	

WINDOW TYPES

The image contains two technical drawings of window types, labeled A and B.

Window Type A: A vertical window with a height of 4'-6" and a width of 2'-9". It features a double-hung design with two panes. A label points to the frame, indicating it is "WOOD OR ALUM./CLAD FIXED CASEMENT".

Window Type B: A horizontal window with a height of 2'-0" and a width of 2'-6". It features a triple-hung design with three panes. A label points to the frame, indicating it is "WOOD OR ALUM./CLAD FIXED CASEMENT TRIPLE MULL".

DOOR TYPES

1

PT WD OR ALUM CLAD
EXTERIOR DOORS

2

4 PANEL WOOD TO
MATCH EXISTING

3

4 PANEL WOOD TO
MATCH EXISTING

4

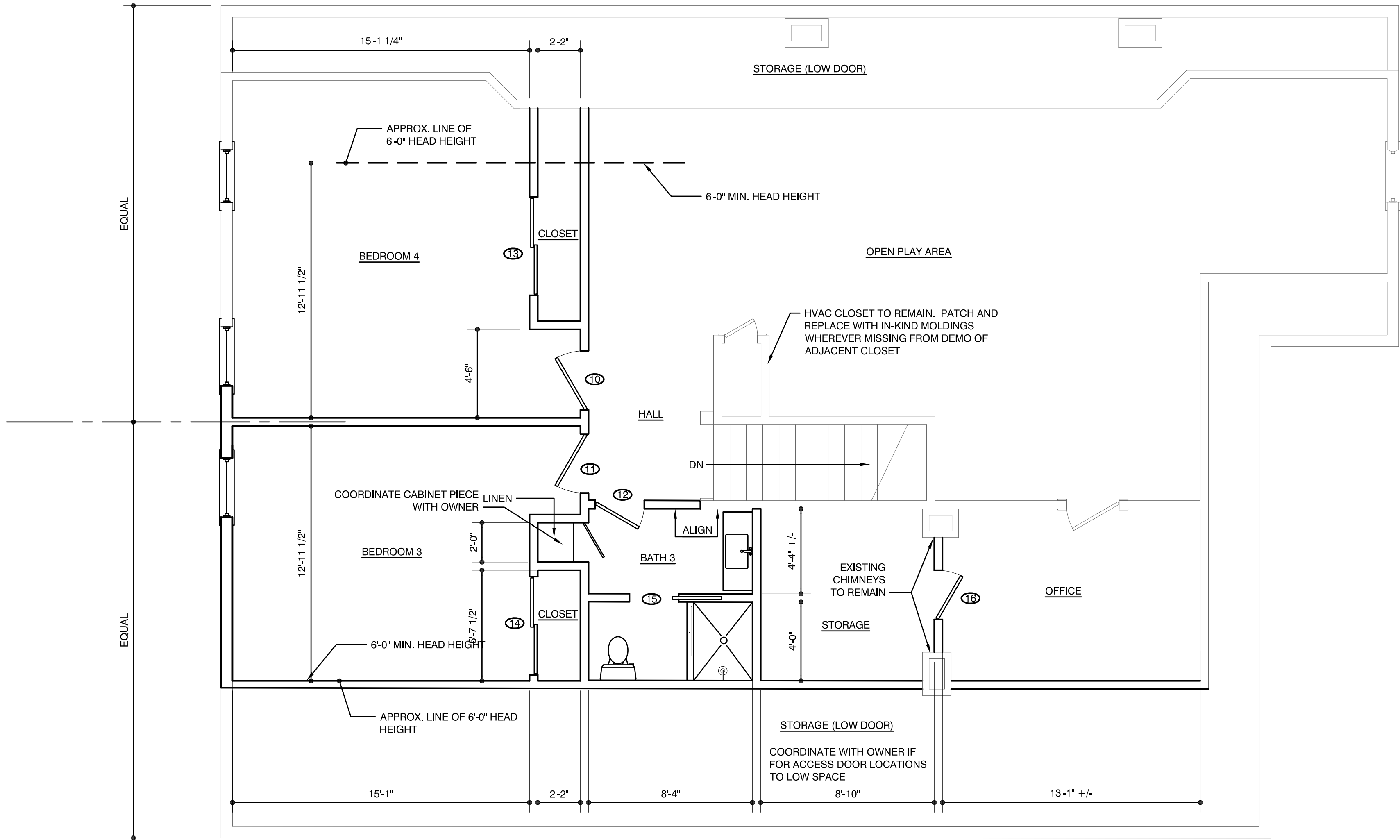
BARN-STYLE
SLIDER

5

BARN-STYLE
SLIDER

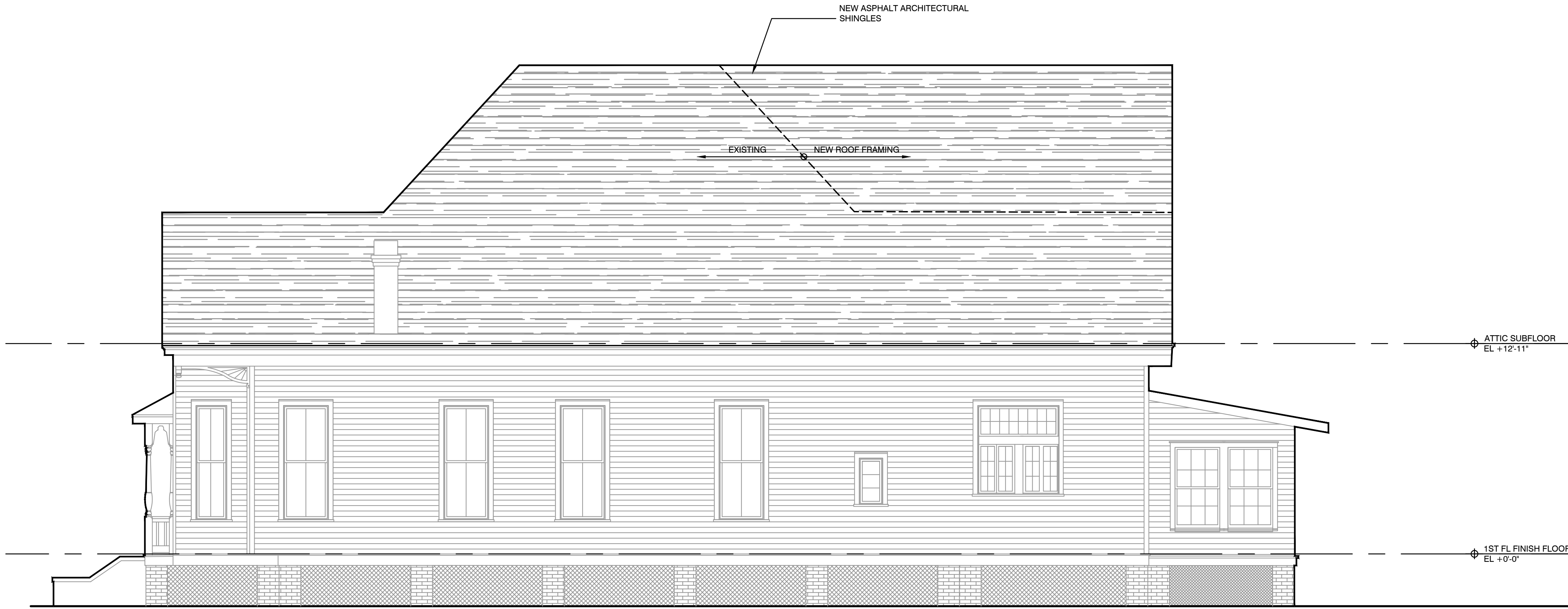
COORDINATE ALL FINISH HARDWARE WITH OWNER





1 ATTIC LEVEL PLAN
1/4"=1'-0"

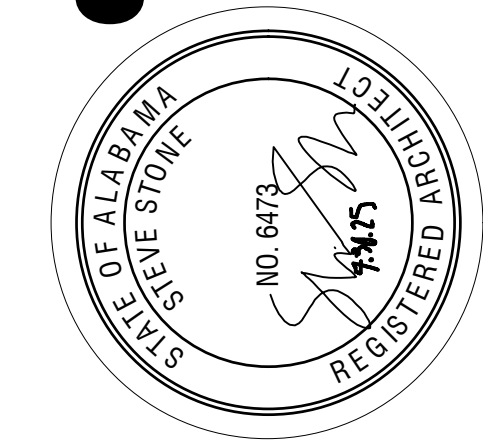


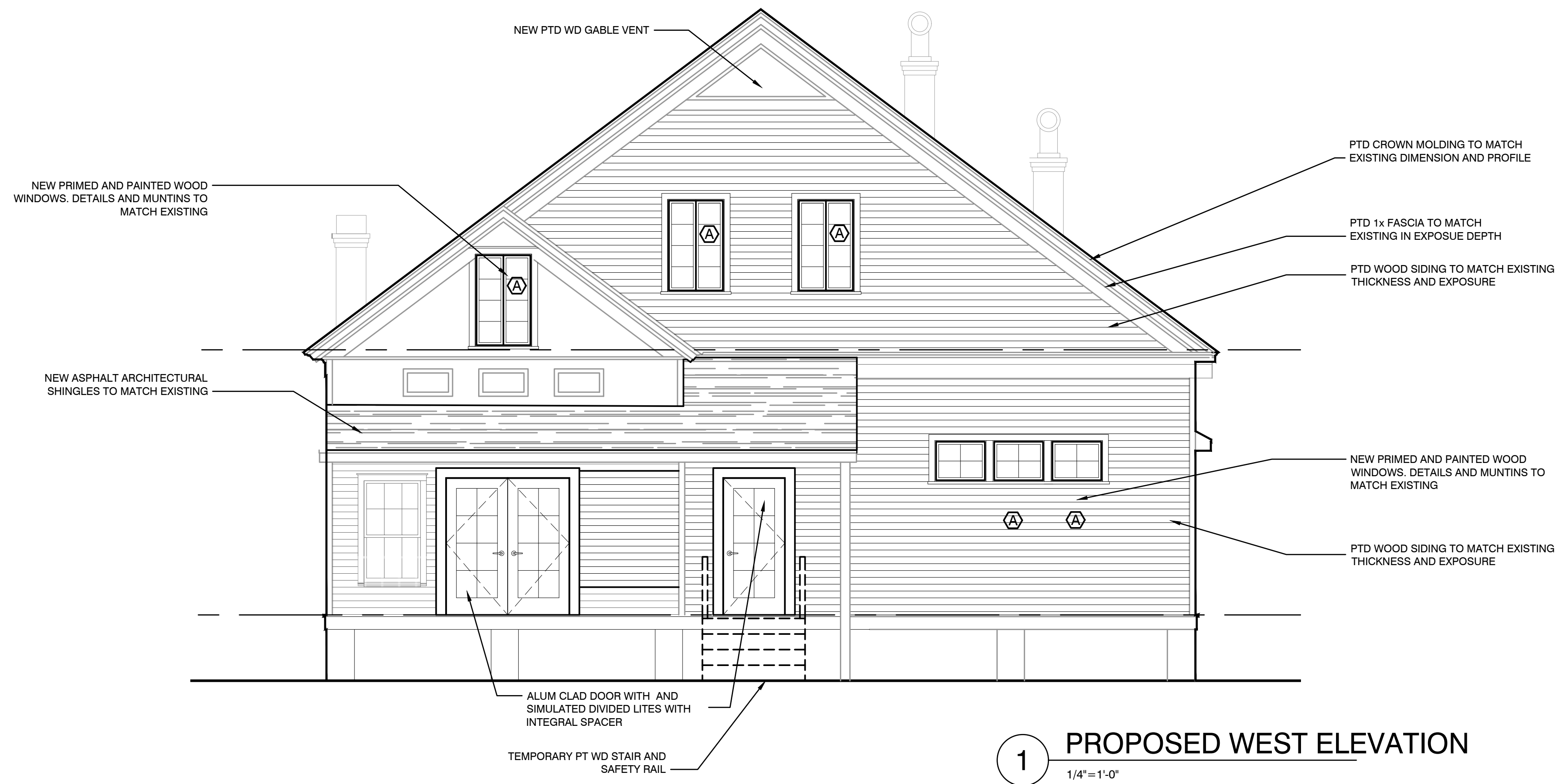
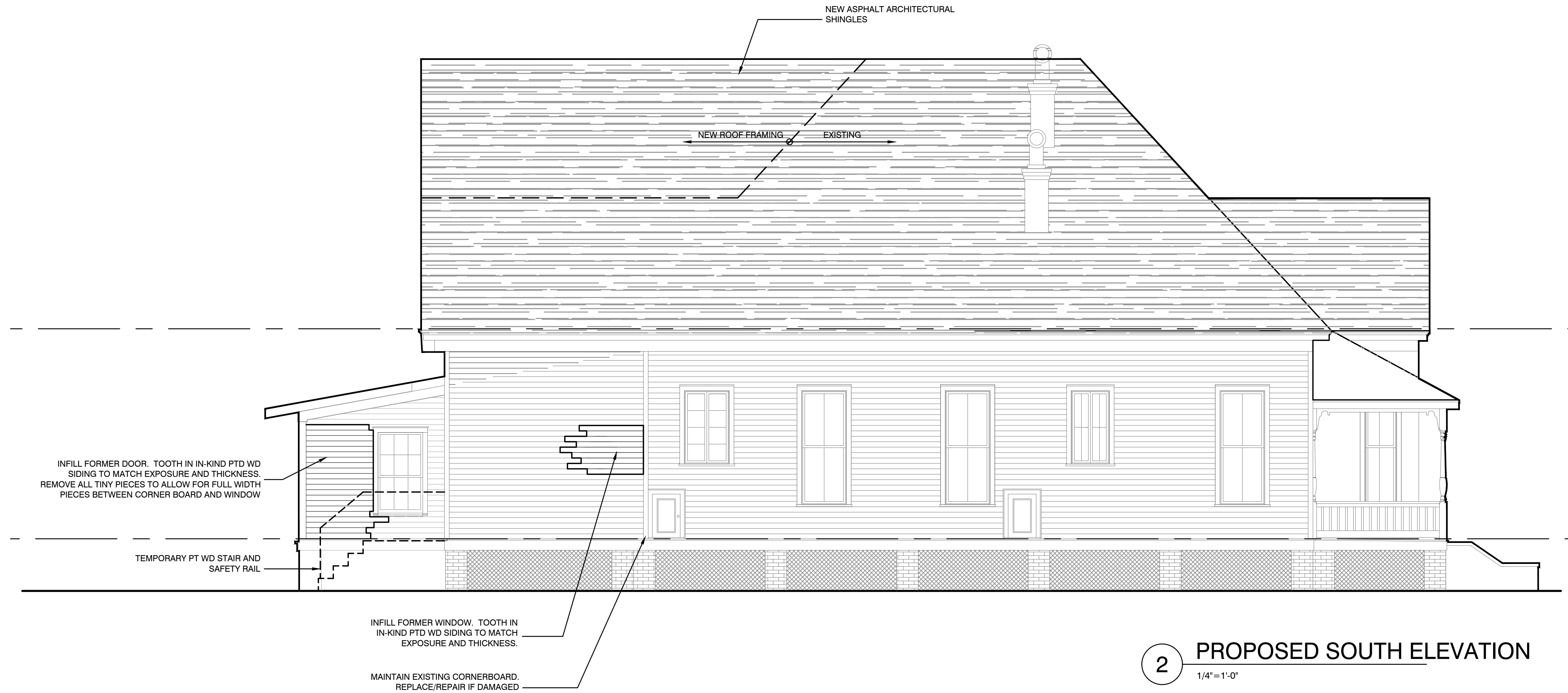


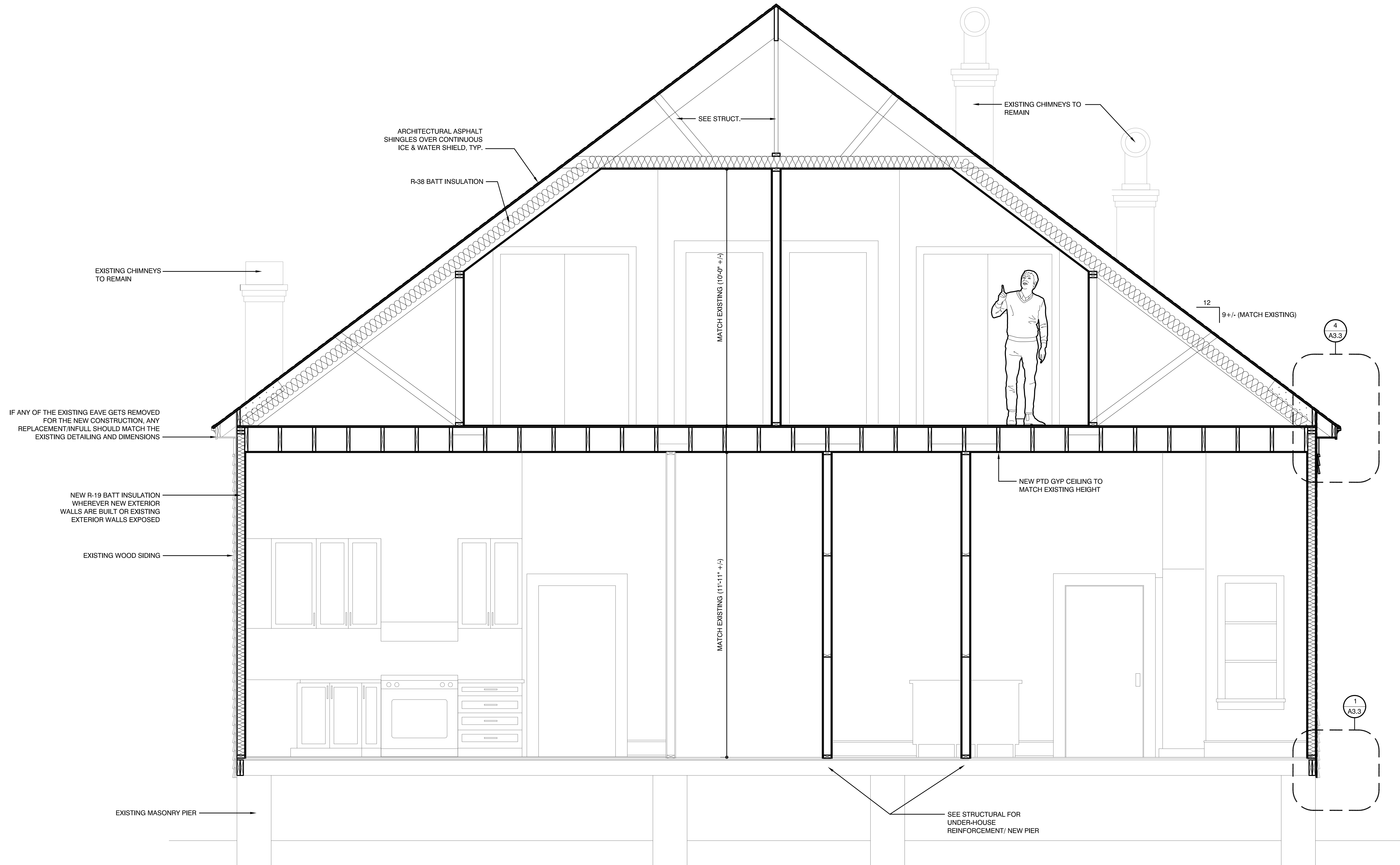
2 PROPOSED NORTH ELEVATION
1/4"=1'-0"



1 PROPOSED EAST ELEVATION
1/4"=1'-0"







1

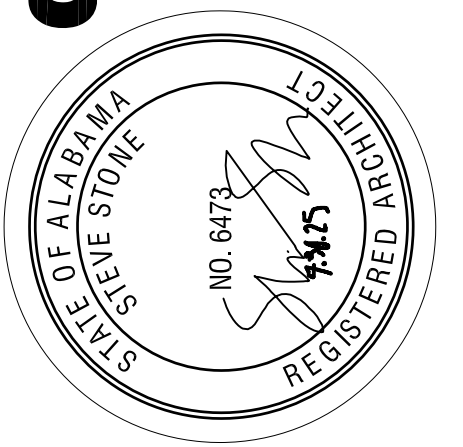
BUILDING SECTION

1/2"=1'-0"

ISSUES + REVISIONS
ISSUE FOR PERMIT

04.28.25

70 SOUTH GEORGIA ST RENOVATIONS

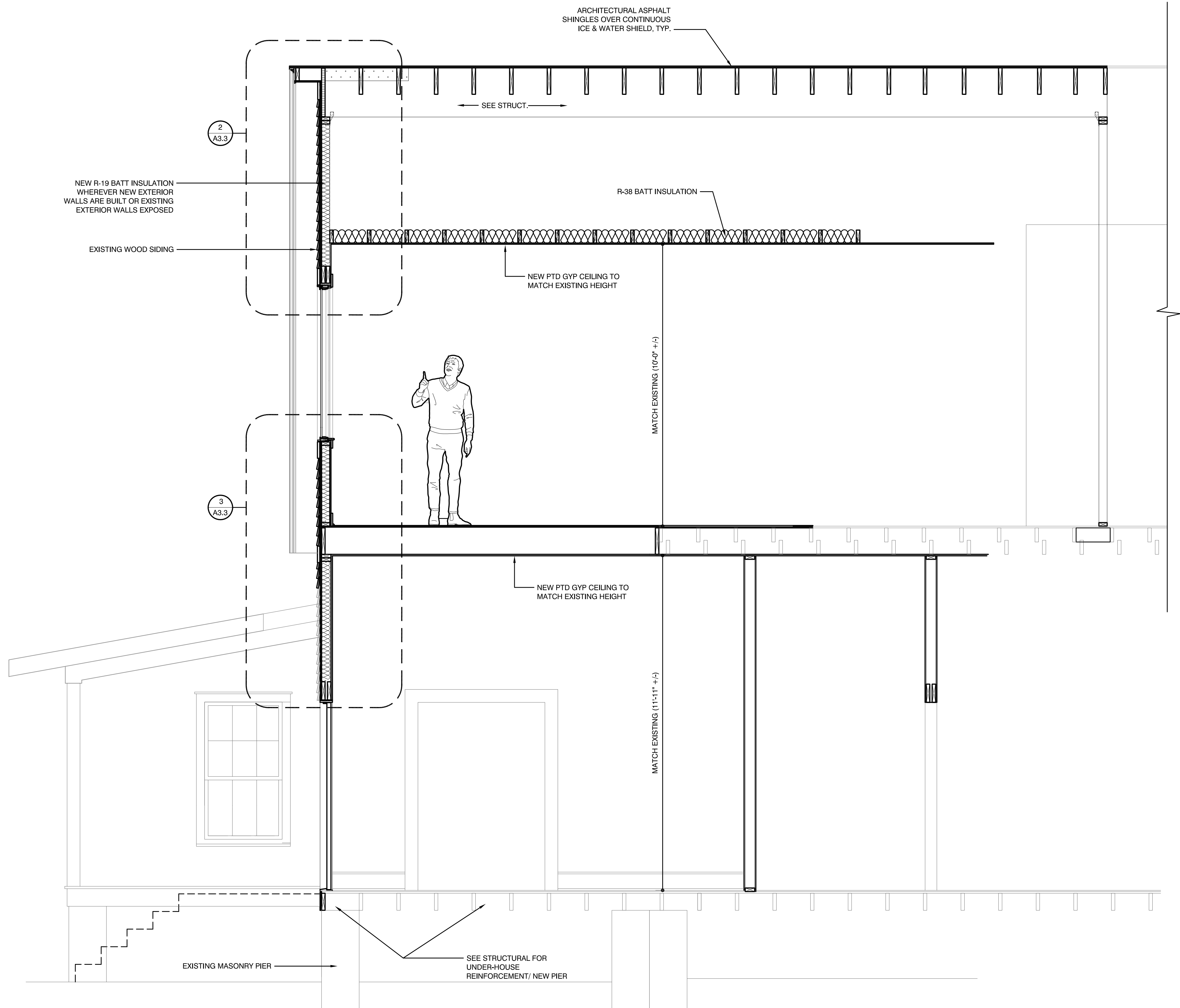


dakinstreetarchitects

MOBILE | ALABAMA

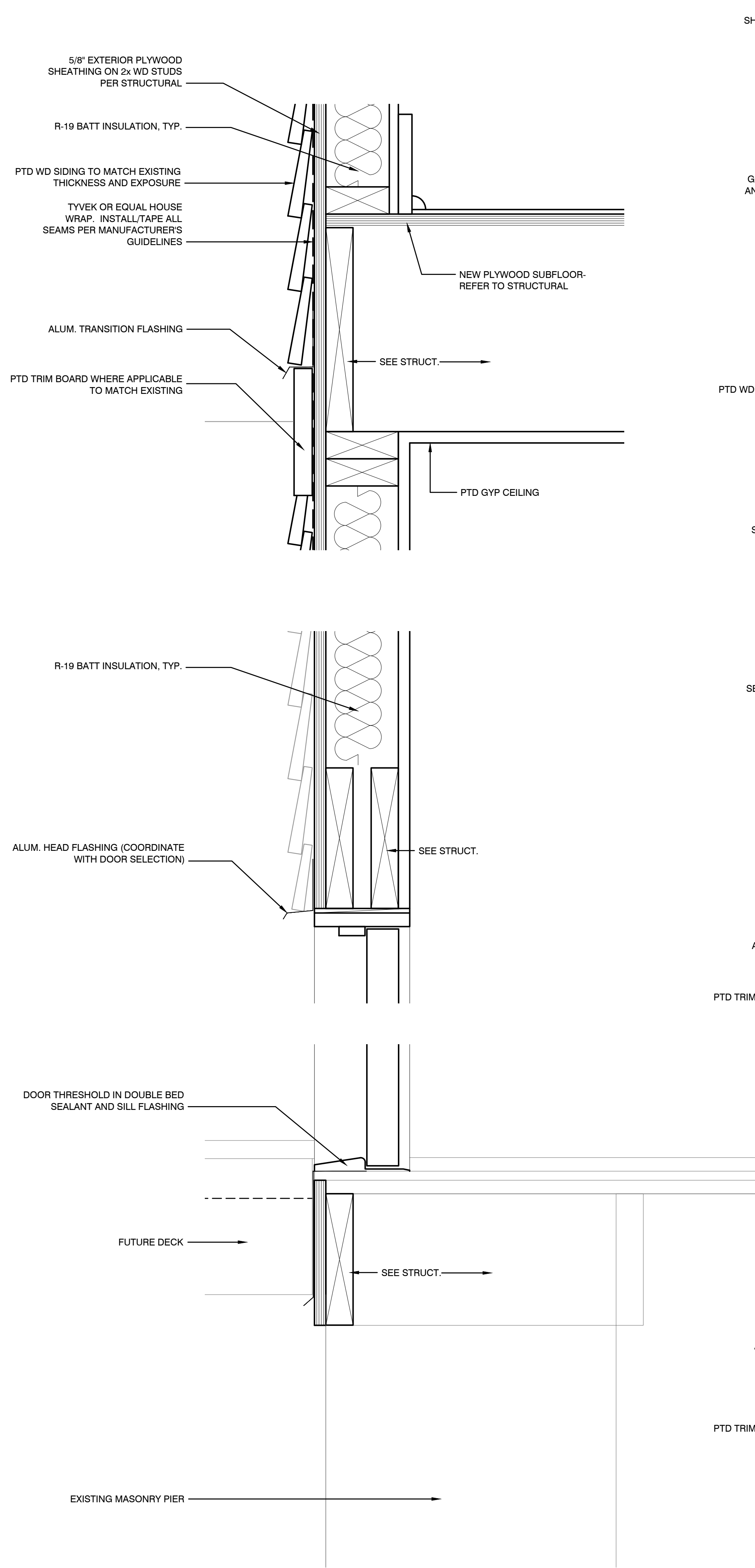
70 n joachim st | unit c | mobile, al | 36606 | 251.382.8317

A3.1

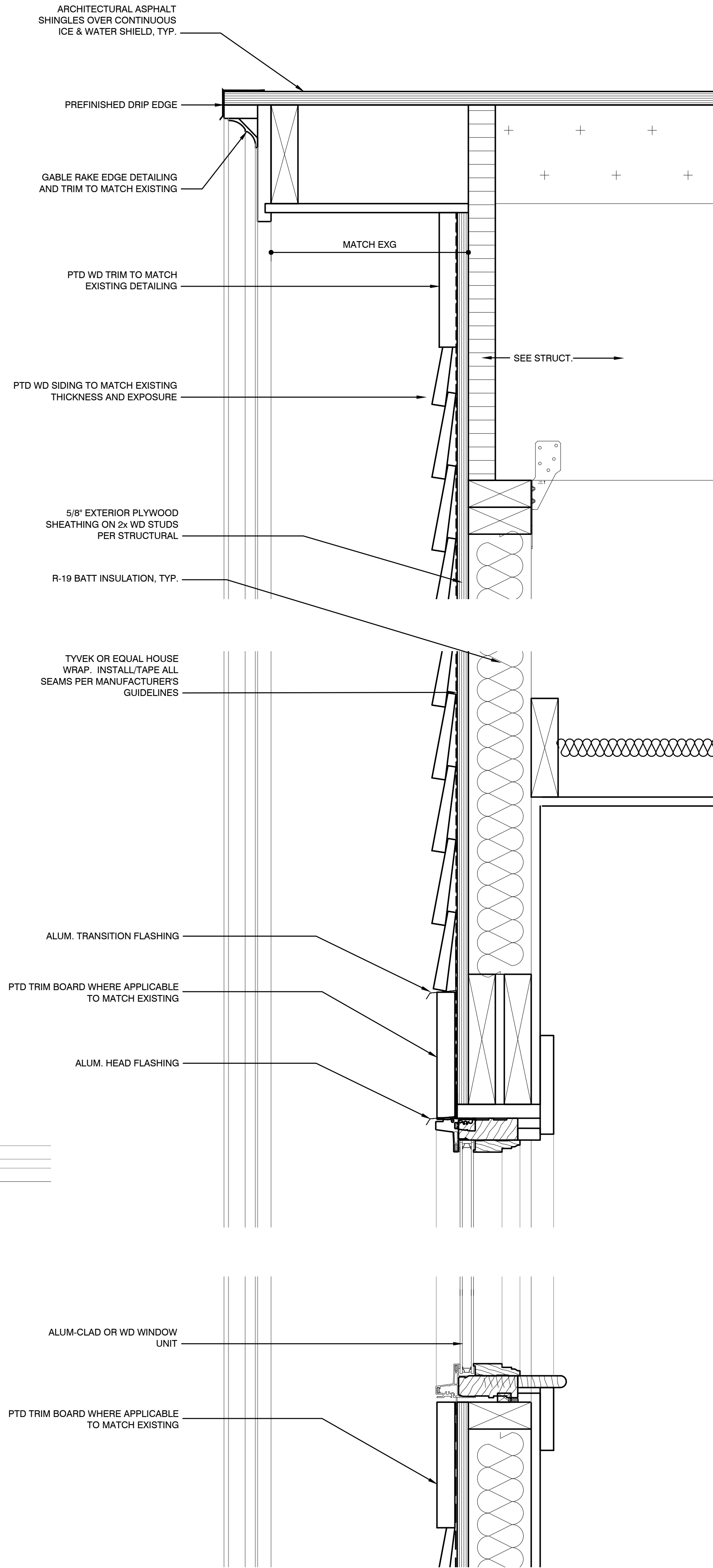


1 BUILDING SECTION
1 1/2"=1'-0"

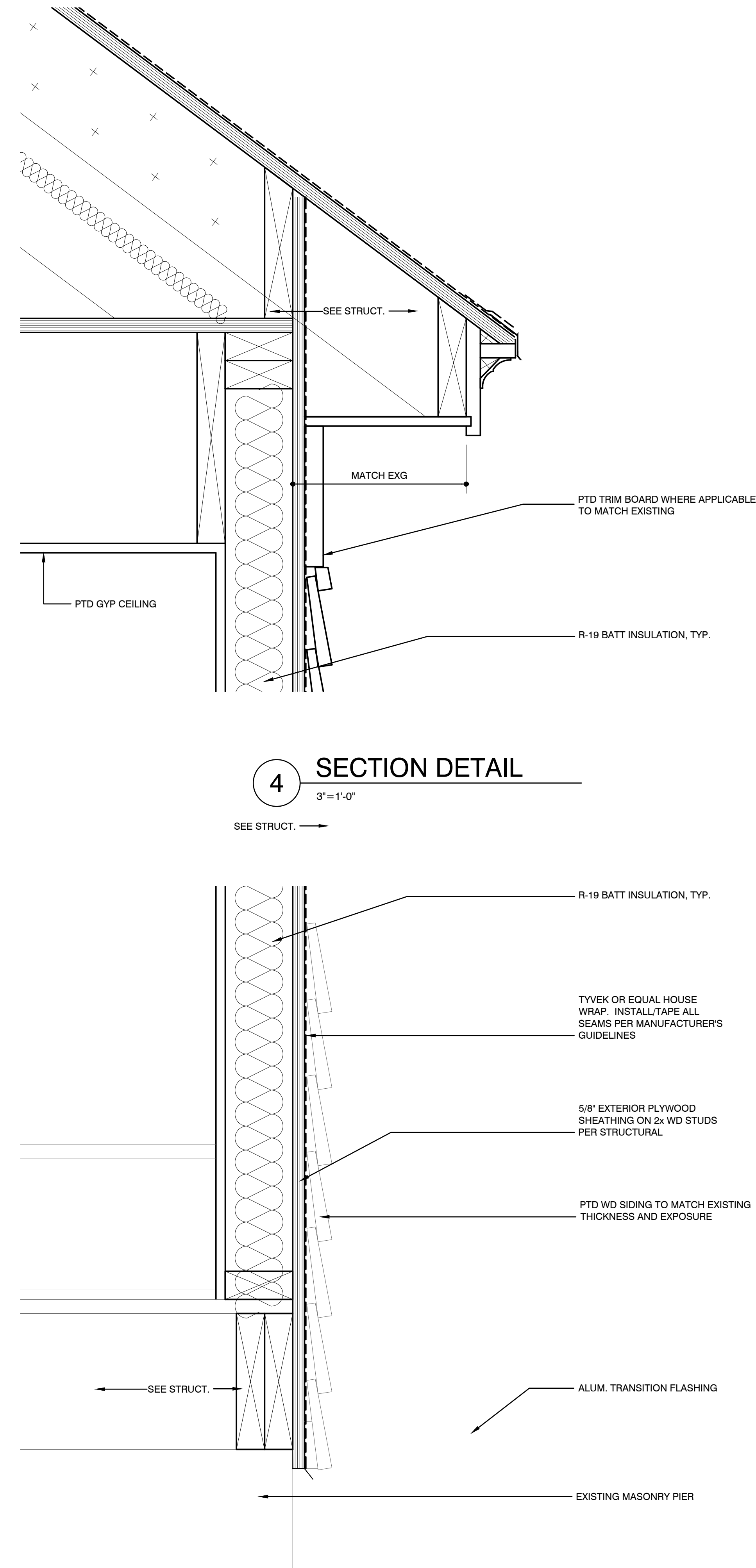




3 SECTION DETAIL
3"=1'-0"



2 SECTION DETAIL
3"=1'-0"



4 SECTION DETAIL
3"=1'-0"