DETAILS

Location:

70 S. Georgia Avenue

Summary of Request:

Extend original gable roofline on west end

Applicant (as applicable):

Steve Stone/Dakinstreet Architects

Property Owner:

Mr. and Mrs. Burkett

Historic District:

Old Dauphin Way

Classification:

Contributing

Summary of Analysis:

- The proposed roof extension would simplify the original roof form and visually alter the overall mass of the structure
- The alteration would minimally impact the appearance of the structure from the street
- All other proposed alterations, repairs, and replacements included in the application will be reviewed at the staff level

Report Contents:

Property and Application History					
Scope of Work	2				
Applicable Standards	2				
Staff Analysis	2				
Attachments	2				

PROPERTY AND APPLICATION HISTORY

Old Dauphin Way Historic District was initially listed in the National Register in 1984 under Criterion C for significant architecture and community planning. The district includes most nineteenth-century architectural styles and shows adaptations of middle-class domestic designs of the nineteenth century to the regional, Gulf Coast climate. It includes "fine examples of commercial, institutional, and religious structures as well as 20th-century apartments."

The property at 70 S. Georgia Avenue is a hipped roof, one-story frame dwelling with restrained Victorian detailing expressed in the Queen Anne style. Constructed c. 1902 by E. W. Faith, the east façade is articulated by a cross-gable bay window on the north end and deep front porch to the south sitting beneath the main roof and supported by decorative turned posts. The form of the building has been minimally altered, with most changes isolated to the west elevation. These include the enclosure of a rear porch, a small extension of the rear wall, and fenestration changes. The space under the steeply pitched roof has either always been used as living space or was converted to accommodate living space at some point. An open deck has also been added to the north end of the same elevation.

According to HD vertical files, this property has never appeared before the Architectural Review Board.

SCOPE OF WORK

1. Extend roof to the west to create a west facing gable. The new main gable would be on the same plane as the existing projecting gable on the north end of the elevation.

APPLICABLE STANDARDS (Design Review Guidelines for Mobile's Historic Districts)

- 1. **5.10** Preserve the original form of a historic roof.
 - Maintain the original pitch.
 - Preserve decorative elements, including crests and chimneys.

STAFF ANALYSIS

The historic dwelling at 70 S. Georgia Avenue is a contributing resource in the Old Dauphin Way Historic District. The application under review seeks approval to extend the original hipped roof westward to create a gable form on the west (rear) elevation. All other proposed alterations included in the application and on the submitted plans are eligible for staff level review and are not being considered as part of this analysis.

The *Guidelines* call for the preservation of the original form of a historic roof, adding that the original pitch should be maintained. (5.10) The alteration proposed in the subject application would modify the form of the roof considerably on the west elevation, along with the west end of the north and south sides of the structure. The result of the change would create a more simplified roof form, a slight departure from the more complex shapes and steep pitches associated with Queen Anne style roof forms. The change in roof shape would disrupt the original overall massing of the structure when viewed from the side elevations.

It must be noted that the proposed change would only be visible from the side and rear elevations. It would not be observable from the street and does not impact the architectural integrity of the façade. Further, the exterior walls of the west (rear) elevation have undergone several previous alterations, leaving little of the original configuration. Multiple gables, which would occur on the west elevation as a result of the proposed roof extension, are also a typical features of Queen Anne style roof forms.



Site Photos – 70 S. Georgia Avenue



1. View of property, looking NW



2. View of elevation, looking NW



3. View of elevation, looking SW



4. View of rear elevation, looking E



5. View of neighboring property to the with similar roof form. Looking NW



City of Mobile · Historic Development

Architectural Review Board Application

07/07/25		
Date of Application	Date Received	
7 South Georgia Avenue)	
Address of Property		
Does any party hold a façade easement on this property of the easement holder's approval of the special application by the ARB. \$275,000 Cost of Project (Required)		,
Elizabeth Burkett		elanders86@gmail.com
Owner Name	Phone	Email
70 S Georgia Ave		36604
Address		Zip Code
If Owner is a legal entity such as a corporation, limite of the formation documents for the Owner, showing t State.		
Steve Stone	251-382-8317	steve@dakinstreet.com
Owner's Representative Name	Phone	Email
70 N. Joachim Unit C		36602
Address		Zip Code
Describe the Proposed Work: Exterior work to include extension of rear (west) gable	le roof to expand attic level. All colors to b	e pulled from approved Historic palettes.
South facade: remove 1 non-original	al diamond window and tooth	in with in-kind wood siding.

Extend the attic level gable to flush with the rear wall. Secondary smaller gable to be rebuilt in-kind.

West facade: remove 2 non-original windows, and 2 non-original doors. remove low non-original addition roof

The rear non-original deck will be removed and a temporary wood stair and rail provided for access. The eventual design of the deck will

be submitted to the ARB under a separate application once complete. New asphalt architectural shingles for the entire roof.

Does the work involve demolition of a structure? No Yes Please fill out demolition portion of application.
Does the proposed work involve signage? ● No ○ Yes
Will the proposed work require the removal of any trees from the site? ● No ○ Yes
If yes, attach a detailed site plan showing all trees and landscaping that will be removed and contact the Urban Forester at 208-7091 for Tree Permitting
Requirements.
REQUIRED PLANS : If plans are required for the project, please attach the following:
 Attach two (2) sets of plans: one large scale set and one 11"x17" reproducible set,

- Also attach one set of photographs to the application.
- If available, electronic plans should also be submitted as a TIFF or PDF.
- A \$15 or \$5.00 application fee is due upon filing. Check should be made out to the City of Mobile.

Refer to the following checklist for requirements for specific work items to be performed. Refer to the Design Review Guidelines for Mobile's Historic Districts (https://www.buildmobile.org/architectural-review-board/). Staff is available to assist with application preparation. For large projects, such as new construction or substantial additions or renovations, consultation with staff is strongly encouraged. Applications are reviewed in the order in which they are received, and if review by the Architectural Review Board is required, an application will be placed on the next available agenda. Any incomplete applications may be held until all information is submitted.

Staff Reports: The Historic Development Staff will review your application and generate a report that will be sent to you, along with the meeting agenda, via e-mail approximately one week before the meeting. The meeting agenda may be found at https://www.buildmobile.org/architectural-review-board/. Please examine these and be prepared to discuss any issues at the Board meetings. Questions before the meeting should be addressed to the staff of the Historic Development Department.

Alterations to Approved Plans: A new application must be submitted for changes to the approved plan. Minor alterations may be approvable by staff.

Historic Markers: The Architectural Review Board examines applications based on its adopted guidelines for historic preservation. These are based on a minimal standard set by the City of Mobile and the State. Historic markers are awarded by the Mobile Historic Development Commission based on a higher standard of review. Approval by the ARB does not guarantee approval for a historic marker. If the desire is to qualify for a marker, please inform the Board and it will attempt to guide you toward the higher goal.

Conflicts of Interest: ARB members sit as a quasi-judicial body. All its deliberations must be made in an open meeting. It is illegal for a Board member to discuss an application outside of a meeting with anyone but staff. Conflicts of interest, if any, will be disclosed at the meeting.

Public Notice: A sign will be placed in a conspicuous location on the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

NOTE: INCOMPLETE APPLICATIONS WILL NOT BE PLACED ON THE AGENDA

Use the Following Checklist to Ensure a Complete Application Complete each box that applies:

	NEW CONSTRUCTION, ADDITIONS, OR EXTENSIVE RENOVATION/REPAIR TO EXISTING STRUCTURES
1.	One large set and one 11 x 17 (reproducible) set of scaled drawings which shall include:
a.	 X A complete site plan illustrating the proposed construction, its location, with dimensions, required setbacks, landscaping and other site amenities;
b.	X Floor plans, with dimensions, as they impact the exterior of the building, including existing plan and proposed plan;
C.	X Square footage of the original building with square footage of all additions including the proposed addition;
d.	X A drawing, with dimensions, of all affected exterior elevations;
e.	X Notes describing all exterior materials (i.e. walls, roof, trim, cornice, windows, etc.) Sample materials may be required in some cases (consult with staff);
f.	X Detailed drawings or photographs of all decorative architectural details (i.e. columns, balustrades, modillions, etc.);
g.	X Paint samples and plan keyed to location of each color. (See below)
2.	Photographs of the subject property to be worked on and surrounding buildings are required.
	X Subject Property photographs
	X Surrounding Buildings photographs

The Historic Development Office can provide sample plans for garages, carports, and outbuildings. These are generally acceptable for most domestic sites. Note: These are for design purposes only and are not suitable as construction drawings.

	FOR MINOR RENOVATION OR REPAIR TO EXISTING BUILDINGS
1. 2. 3.	For work which includes changes to the exterior of existing buildings, the following is required: Elevation drawings with dimensions and material details Floor plans Photographs of each face of the building to be renovated with details of the areas of work.
	EXTERIOR PAINTING
Per	iod color schemes are encouraged. However, other colors may be acceptable. Submit name and color samples for:
	Manufacturer
	main body color
	trim or decorative features
	porch deck
	accent areas: lattice, shutters, etc.
	other areas

 FENCES, DRIVES AND GATES 1 A drawing or photograph of the type of fence, wall or gate with the height noted. 2 A site plan, with dimensions, showing the placement of any proposed change to the property as it relates to property boundaries and all other building or site facilities. 3 A description of the materials to be used.
4. Paint samples, if the fence, wall or gate is to be painted.
SIGNAGE
Width of signfeetinches Height of sign:feetinches
Single Face Double Face
Height (from ground level to top of sign)feetinches
Height (from ground level to bottom of sign)feetinches
Total Square Footage of Signage: square feet. (Both sides if double-faced)
General Description
Type of Sign : ☐ Monument ☐ Free Standing ☐ Projecting ☐ Wall ☐ Banner ☐ Sandwich Board
How will sign be mounted:
Sign Materials (sample materials may be requested by the Review
Board):
Describe type of lighting to be used:
Linear front footage of principle building: feet inches.
Square footage of Existing Signage:feetinches N/A
Include in Application:
Scaled colored renderings of the requested sign; or photographs with dimensions
Photographs of the building
A site plan or building elevation showing the location of the proposed signage For specific requirements, refer
to Sign Design Guidelines for Mobile's Historic District and Government Street.

DEMOLITIO	ON APPLICATION
Purchase Date:	Purchase Price:
Current appraised value of the property?	
Was the property occupied at time of purchase?	What was the property's
condition?	
What alternatives to demolition have you considered for	this property?
Have you listed the property for sale or lease since your p	ourchase? O Yes O No
If "Yes", what was your asking price?	
How many offers did you receive?	
List any options currently held for the purchase of the pro-	operty, including the price received for such option, the
conditions placed on such option and the date of expiration	on of such option:
Do you have construction plans ready to complete the rep	olacement project? O Yes O No
If so, how much have you expended on the plans?	
What are the dates of these expenditures?	
In order to determine your ability to complete the replace	cement project, do you have the following:
Performance Bond O Yes O No	Letter of Credit O Yes O No
Trust for completion of improvements \bigcirc Yes \bigcirc No	Other evidence of financial ability O Yes O No
Letter of commitment from a financial institution O Yes	○ No
"In no event shall the Board entertain any application for unless the applicant also presents at the same time the p Ordinance #44-084	

An Architectural Review Board Application with supporting documentation and fee should accompany this request with the plans for development of the site. A sign will be placed in the front yard of the property prior to the Review Board meeting to notify surrounding property owners of a pending application. Attendance at the meeting is strongly advised in order for the applicant to respond to any questions.

SEE NEXT PAGE

CONFLICTS WITH OTHER CITY DEPARTMENTS

The Architectural Review Board examines applications solely on the basis of impairment to the historic character of a building or neighborhood. Approval by other City Departments may consider other aspects of a project such as safety. When multiple regulations are in conflict, generally the most restrictive applies. Also, though the staff and Review Board try to inform applicants of possible conflicts, they may not be aware of all the implications of a request. Therefore, the property owner should clear all requests with the appropriate departments.

Digitally signed by steven stone DN: cn=steven stone, o=dakinstreet, ou, email=steve@dakinstreet.com, c=US Date: 2025.07.03 09:55:24 -05'00'

Date

07/3/25

Signature

The Sa

GENERAL NOTES

. THE CONTRACTOR SHALL EXAMINE THE PROJECT DRAWIINGS AND PROJECT MANUAL (IF APPLICABLE) AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND BEFORE PROCEEDING WITH THE WORK.

. THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK

5. FLOOR AND WALL OPENINGS, SLEEVES, VARIATIONS IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS, AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND/OR CIVIL REQUIREMENTS MUST BE COORDINATED BY THE CONTRACTOR BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.

3. ACCESS DOORS AND PANELS SHALL BE PROVIDED BY THE MECHANICAL, FIRE SPRINKLER AND PLUMBING CONTRACTORS AT ALL VALVES, DUCTWORK, FIRE DAMPERS ETC. AS REQUIRED BY CODE. MAINTAIN REQUIRED CLEARANCES IN ATTICS FOR ACCESSWAYS TO ALL VALVES AND DAMPERS ABOVE CEILINGS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE OPENING SIZES AND LOCATIONS ON SITE WITH SUBCONTRACTORS.

7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GRADE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANY.

II. THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, AND SHORES AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES AND COMPONENTS, ADJACENT SOILS AND STRUCTURES, UTILITIES AND RIGHT-OF-IAIAYS MAY BE SUBJECT DURING CONSTRUCTION.

12. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF ANY MATERIALS, STARTING FABRICATION OR BEGINNING

13. ALL DEMOLITION AND WORK RELATED DEBRIS SHALL BE REMOVED FROM THE

14. THE CONTRACTOR, AT THE COMPLETION OF THIS PROJECT, SHALL LEAVE ALL AREAS AND FINISHED SPACES IN A CLEAN AND ACCEPTABLE CONDITION.

15. ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE FULLY COORDINATED WITH THE ARCHITECTURAL DOCUMENTS BY THE GENERAL

16. ALL WORK SHALL BE PERFORMED AT THE HIGHEST LEVEL OF STATE OF THE

17. WALL, FLOOR, CEILING GRILLS AND REGISTERS SHALL BE FINISHED TO MATCH COLOR SPECIFIED FOR THE SURFACE IN WHICH THE ITEM IS INSTALLED. PAINT USED ON METAL WORK SHALL BE SEMI-GLOSS ENAMEL UNLESS OTHERWISE

18. ALL FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW UNLESS OTHERWISE NOTED.

19. CONTRACTOR SHALL COORDINATE, SCHEDULE AND PERFORM ALL CONSTRUCTION ACTIVITY, PROVIDE ALL SUPPORT AND MISCELLANEOUS MATERIALS REQUIRED TO ACHIEVE THE INTENDED DESIGN OBJECTIVES.

	VICINIT		
anklin Primary St. Mada anklin Lungrish St. Ma	Monday St. Man Marimonte St.	Morad ad Specific St. Earle St. Bloodscods	THE NAME OF THE PARTY OF THE PA
SS St Basil St	17	Shane A. Taylor & Associates, PC	Richards-DAR House Museum
Roya Lolasi Ims St	15.55		State St St Anthony St Mobile
kenhen,	The Cheese C		Hilton Garden Inn Mobile Downtown Mobile Alabama Wedding
Bush Ave	PRO	ZZ Ti Lip All III III III III III III III III III	History Museum of Mobile
OLD DOPHIN St WAY-HIS OR	Davis St C K	T. Green, Attorney Green/South a's	overnment/St
DISTRIC		Greer's Downto Market	The Law Offices of Damrich & Allen Divorce, Custody, and Support
Taco Bell	Callaghan's Irish Social Club	Canal St	Bay Town Bonding •
Ann Sr Ann St		Augusta St.	Bama Bail Bonds O
Church St Emira St S S S S S S S S S S S S S S S S S S		Savanuah St OS	IT 300 1 / 7/11 /
Eslava ST Fry St	WASHINGTON SQUARE	Elmira St Texas St TEXAS S	STREET Elmira St
Magnolia Cemetery 🚹	New Jersey St	HIT	Bail Out Bonding

DRAWING INDEX

G1.0 DRAWING INDEX, SITE PLAN, NOTES, AND VICINITY MAP AD1.1 FIRST FLOOR AS-BUILT/DEMO PLAN AD1.2 ATTIC AS-BUILT/DEMO PLAN AD1.3 EXTERIOR ELEVATIONS AS-BUILT/DEMOLITION AD1.4 EXTERIOR ELEVATIONS AS-BUILT/DEMOLITION

A1.1 FIRST FLOOR NEW WORK PLAN A1.2 ATTIC NEW WORK PLAN

A1.3 FIRST FLOOR REF CEILING AND FINISH PLANS

A1.4 ATTIC REF CEILING AND FINISH PLANS

A2.2 EXTERIOR ELEVATIONS

A3.1 BUILDING SECTION A3.2 BUILDING SECTION

A3.3 | SECTION DETAILS A4.1 ENLARGED KITCHEN PLAN AND ELEVATIONS

A4.2 ENLARGED BATHROOM 1 PLAN AND ELEVATIONS A4.3 INTERIOR ELEVATIONS

A5.1 SCHEMATIC ELECTRICAL PLANS

A5.2 | SCHEMATIC MECHANICAL & ELECTRICAL PLANS

S1.0 FIRST FLOOR EXIST PIER AND FRAMING PLAN

FIRST FLOOR HEADER & STAIR PLAN & REAR WALL

S2.0 ROOF FRAMING PLAN S3.0 SECTION

S3.1 SECTION S4.0 STANDARD DETAILS

S4.1 STANDARD DETAILS

LEGAL DESCRIPTION

BEG AT A PT ON THE W/S OF GEORGIA AVE WHICH IS DIS 668 FT 6 IN M/L FROM NW COR OF GOVERNMENT ST & GEORGIA AVE SD PT BEING THE SE COR OF PPTY HERETOFORE CONVEYED BY PAULINE E FAITH & LYMAN H FAITH HER HUSBAND TO EDWARD W FAITH BY DEED DTD MAY 25,1904 DBK 112 N S PG 125 RUN TH NLY ALG THE W/L OF GEORGIA AVE 66 FT TO A PT WHICH IS THE NE COR OF PPTY HERETOFORE CONVEYED BY PAULINE E FAITH ET AL TO EDWARD W FAITH, DEED DTD AUG 24,1900 DBK 93 PG 368 RUN WLY & AT RT ANG TO GEORGIA AVE 200 FT TO A

BUILDING & SITE DATA

INTERNATIONAL RESIDENTIAL CODE 2021 EDITION ZONING DISTRICT: R-1

BUILDING COVERAGE (35% MAX): 2,698 SF [OK]

TOTAL LOT AREA (7,200SF MIN.): 13,178.5 SF (0.30 ACRES)

EXISTING FOOTPRINT: 2,698 SF

PROPOSED FOOTPRINT: NO CHANGE

BUILDING HEIGHT MAX = 35 FEET [OK]

FRONT YARD SETBACK :31+ FEET

SIDE YARD SETBACK: 7.4/16.3 (EXISTING, NO CHANGE)

REAR YARD SETBACK: 99 FEET (NO CHANGE)

SEE STRUCTURAL DRAWINGS :

DESIGN WIND SPEED PER ASCE 7-10" ULTIMATE WIND SPEED GUST (3-SECOND) RISK CATEGORY IMPORTANCE FACTOR EXPOSURE CATEGORY

OPENING PROTECTION

GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIREMENTS OF THE LARGE MISSILE TEST OF ASTM E 1996 AND OF ASTM E

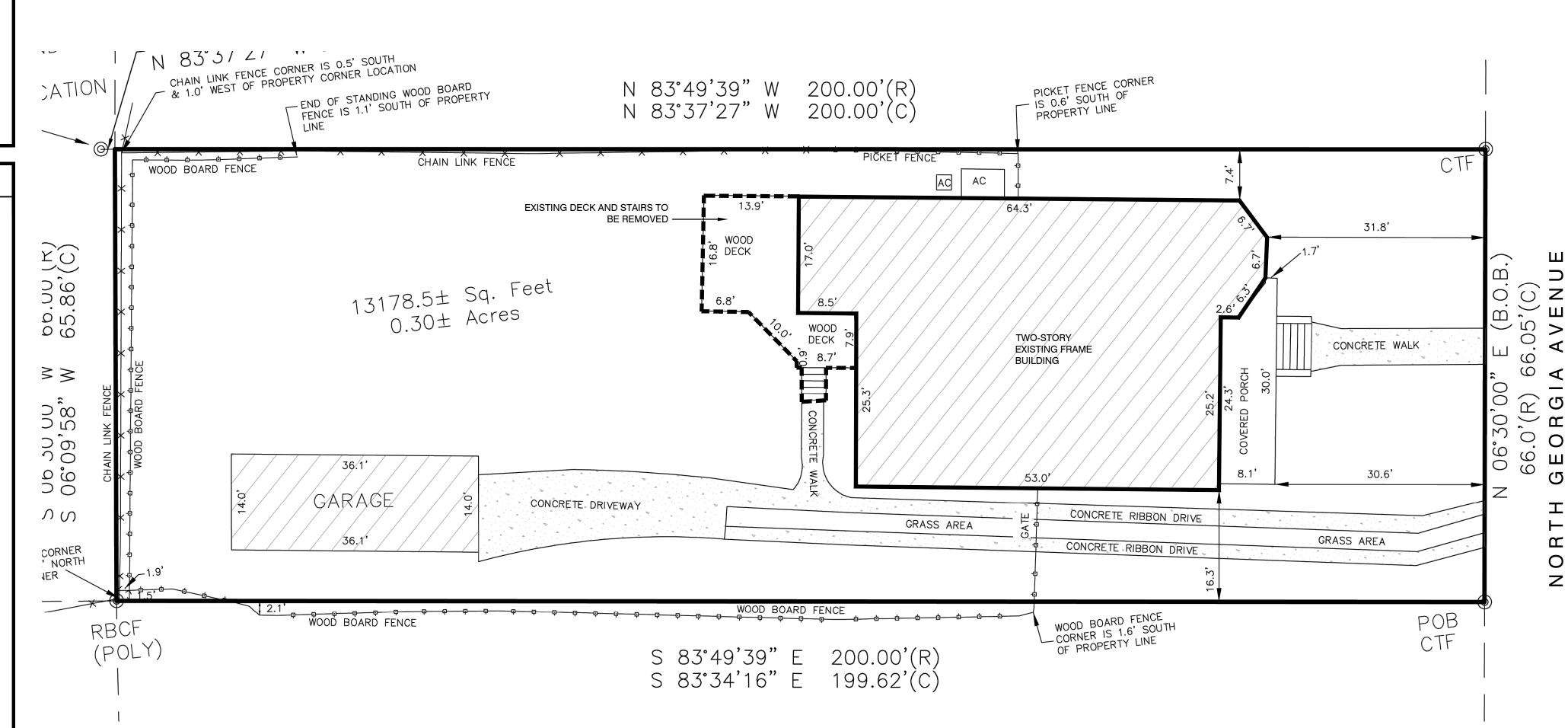
EXCEPTION: WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF $\frac{T_{
m dis}}{16}$ AND A MAXIMUM SPAN OF 8 FEET SHALL BE PERMITTED FOR OPENING PROTECTION IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE REQUIRED. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH TABLE LISTED BELOW. INFORMATION FOR TABLE FOUND IN IRC 2009 (R301.2.1.2)

WINDBORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS

PANEL SPAN FASTENER TYPE SPAN <4 4' TO 6' FEET 16 INCHES 9 INCHES 12 INCHES 2 ½" #6 WOOD SCREWS 2 ½" #8 WOOD SCREWS

RESPONSIBILITY MATRIX					
ITEM		FURNISH		TALL	DEMARKO
ITEM	G.C.	OWNER	G.C.	OWNER	REMARKS
DEMOLITION			\mathbb{X}		
PAINTING (INTERIOR WALLS, DOORS & TRIM)	$\supset <$		\times		
PAINTING (EXTERIOR SIDING, DOORS & TRIM)	\supset		>>		
LIGHTING FIXTURES (PENDANTS & VANITY FIXTURE)					
CLOSET RODS AND SHELVING	\supset		>>		
APPLIANCES		\geq	\geq		
FOUNDATION WORK / WALL & ROOF FRAMING			$\overline{}$		
EXTERIOR AND INTERIOR WALLS					
PLUMBING FIXTURES					
DOORS & WINDOWS					
COUNTERTOPS & BACKSPLASHES					
MECH/ELEC/PLUMBING ROUGH-IN					
FLOOR, WALL & SHOWER TILE			\searrow		
CABINETRY					
LIGHTING FIXTURES (PENDANTS & UNDERCABINET)					

PANEL SPAN 6



EXISTING SITE PLAN

0

0

SITE PLAN, **DRAWING INDEX** AND GENERAL

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOTCOVERED.

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBEDBY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE-TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR

HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.

PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.

CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION

GENERAL: PROTECTION

SURROUNDING AND ADJACENT MATERIALS AND PLANTS SHALL BE COVERED AND CAREFULLY PROTECTED DURING THE CLEANING OPERATION. SOIL BELOW WALLS TO BE CLEANED SHALL BE NEUTRALIZED AND EXCESS CHEMICALS SHALL BE WASHED AWAY OR GATHERED AND DISPOSED OF ELSEWHERE.

GENERAL: CLEAN UP
AT END OF CLEANING ALL DEBRIS REMOVED SHALL BE GATHERED TOGETHER AND
HAULED AWAY FROM THE SITE AND DISPOSED OF ELSEWHERE IN ACCORDANCE WITH
ALL APPROPRIATE REGULATIONS.

GENERAL: PROTECTION OF BUILDINGS

THE CONTRACTOR SHALL PROTECT THE BUILDING AND KEEP IT DRY AT ALL TIMES. HE SHALL PROVIDE AND INSTALL TEMPORARY FLASHING, MEMBRANE OR PLYWOOD COVERS, PIPING, GUTTERING, DOWN SPOUTS, ETC. AS MAY BE NEEDED TO PROTECT THE BUILDING FROM DAMAGE FROM ANY SOURCE -- NATURAL OR MAN MADE.

SPECIFIC DEMOLITION PLANS

SEE DEMOLITION PLAN AS WELL AS REVISED PLANS, ELEVATIONS, SECTIONS, DOOR AND ROOM FINISH SCHEDULES AND VARIOUS DETAILS FOR WORK TO BE DONE.

GENERAL - DEMOLITION SCOPE
DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK
REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT
DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

GENERAL - PROTECTION OF STRUCTURE

THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAY'S WORK OR AT THE APPROACH OF RAIN.

GENERAL - DEMOLITION AND REMOVAL
DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION
AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND
NOTED ON THE DRAWINGS.

REMOVAL OF CERTAIN WOOD, GYPSUM BOARD WALLS, FLOORS, DECKS, FRAMING, NAILERS AND CEILINGS.
 REMOVAL OF CERTAIN DOORS.
 REMOVAL OF CERTAIN TRIM.

NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS

GENERAL HARDSCAPE PROTECTIONS: THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.

DEMOLITION KEYNOTES

REMOVE EXISTING WALL. IF LOAD-BEARING, PROVIDE ADEQUATE TEMPORARY SHORING AS NEEDED. TAKE ALL PRECAUTIONS TO LIMIT DAMAGE TO ADJACENT WALLS, FLOORS, AND CEILINGS. FLOORING TO BE PATCH WITH IN-KIND MATERIAL TO MATCH EXISTING AND ADJACENT.

REMOVE DOOR AND FRAME. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

REMOVE PLUMBING FIXTURE. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE.

REMOVE WINDOW. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

(5) REMOVE EXISTING CABINETRY AND APPLIANCES

6 REMOVE EXISTING CHIMNEY TO BELOW ATTIC SUBFLOOR. ROOF TO BE REPAIRED/REPLACED.

REMOVE FIREPLACE, MANTEL, AND HEARTH TO BELOW ATTIC SUBFLOOR.

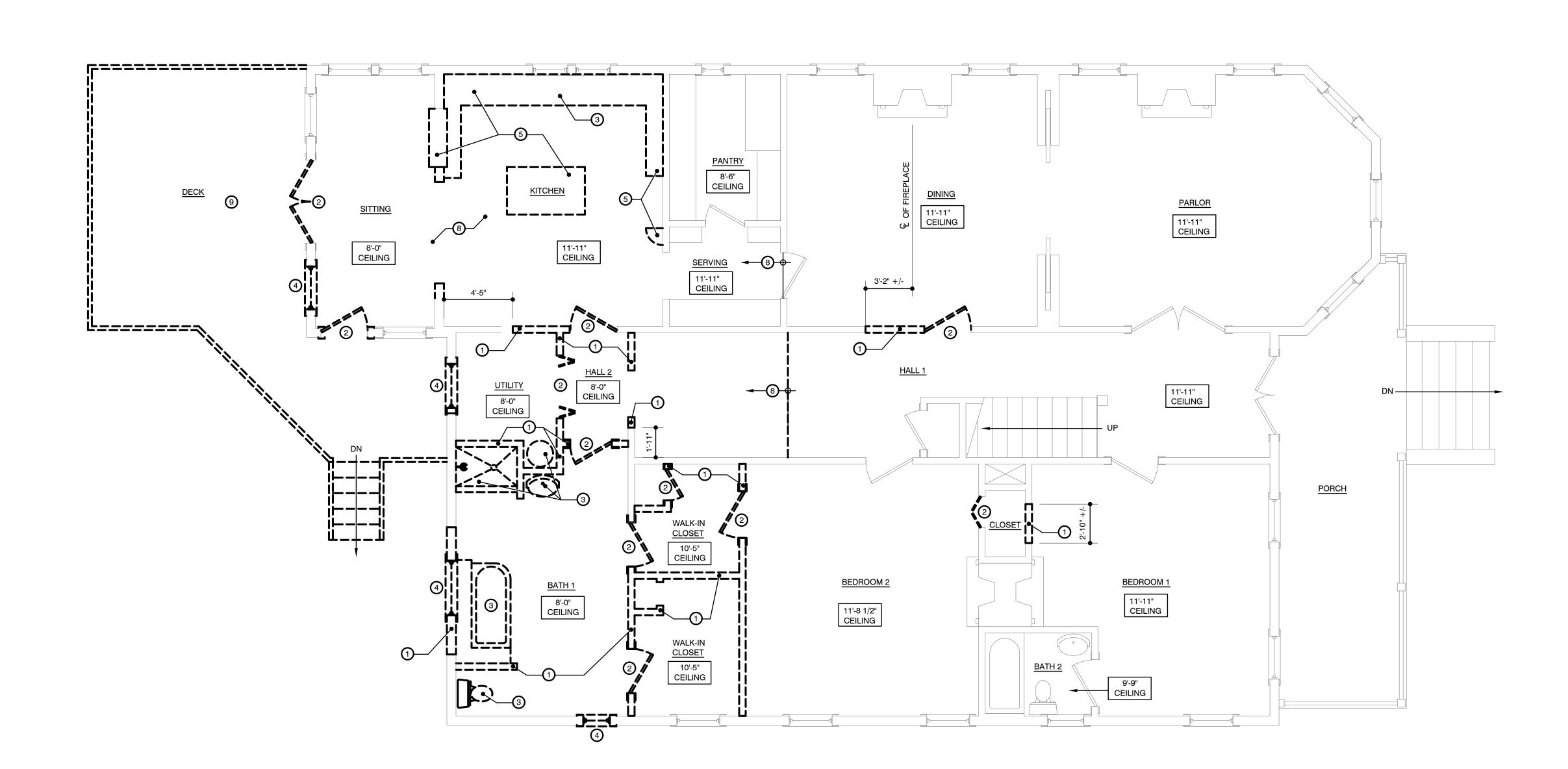
8 REMOVE FINISH FLOOR AND BASE TO SUBFLOOR

9 REMOVE EXISTING DECK AND RAIL. PROVIDE TEMPORARY WD STAIR AND SAFETY RAIL DURING CONSTRUCTION

REMOVE ROOFING AND ROOF FRAMING IN PREPARATION FOR NEW ROOF ADDITION.
COORDINATE WITH STRUCTURAL DRAWINGS FOR BRACING AND NEW FRAMING

REMOVE EXISTING ROOFING AND PAPER DOWN TO SHEATHING IN PREPARATION FOR NEW ROOF

REMOVE EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS AS NECESSARY TO ALLOW FOR NEW WORK PER PLANS, BUT TAKING ALL PRECAUTIONS TO LIMIT DAMAGE AND MAINTAIN FUNCTIONALITY FOR THE OWNER DURING CONSTRUCTION



251

 \circ

70

MOBILE

NO. 6473

NO. 6473

NO. 6473

NO. 6473

O SOUTH GEORGIA ENOVATIONS

04.28.25

ISSUES + REVISIONS E FOR PERMIT 02

FIRST FLOOR DEMOLITION PLAN

AD1.1

FIRST FLOOR DEMO PLAN

1/4"=1'-0"

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOTCOVERED.

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBEDBY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE-TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL.

HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.

PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.

CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION

GENERAL: PROTECTION
SUBBOUNDING AND ADJACENT MATE

SURROUNDING AND ADJACENT MATERIALS AND PLANTS SHALL BE COVERED AND CAREFULLY PROTECTED DURING THE CLEANING OPERATION. SOIL BELOW WALLS TO BE CLEANED SHALL BE NEUTRALIZED AND EXCESS CHEMICALS SHALL BE WASHED AWAY OR GATHERED AND DISPOSED OF ELSEWHERE.

AT END OF CLEANING ALL DEBRIS REMOVED SHALL BE GATHERED TOGETHER AND HAULED AWAY FROM THE SITE AND DISPOSED OF ELSEWHERE IN ACCORDANCE WITH ALL APPROPRIATE REGULATIONS.

GENERAL: PROTECTION OF BUILDINGS

THE CONTRACTOR SHALL PROTECT THE BUILDING AND KEEP IT DRY AT ALL TIMES. HE SHALL PROVIDE AND INSTALL TEMPORARY FLASHING, MEMBRANE OR PLYWOOD COVERS, PIPING, GUTTERING, DOWN SPOUTS, ETC. AS MAY BE NEEDED TO PROTECT THE BUILDING FROM DAMAGE FROM ANY SOURCE – NATURAL OR MAN MADE.

SPECIFIC DEMOLITION PLANS

GENERAL: CLEAN UP

SEE DEMOLITION PLAN AS WELL AS REVISED PLANS, ELEVATIONS, SECTIONS, DOOR AND ROOM FINISH SCHEDULES AND VARIOUS DETAILS FOR WORK TO BE DONE.

GENERAL - DEMOLITION SCOPE
DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK
REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT
DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

GENERAL - PROTECTION OF STRUCTURE

THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAY'S WORK OR AT THE APPROACH OF RAIN.

GENERAL - DEMOLITION AND REMOVAL
DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION
AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND
NOTED ON THE DRAWINGS.

1) REMOVAL OF CERTAIN WOOD, GYPSUM BOARD WALLS, FLOORS, DECKS, FRAMING, NAILERS AND CEILINGS.
2) REMOVAL OF CERTAIN DOORS.

2) REMOVAL OF CERTAIN DOORS3) REMOVAL OF CERTAIN TRIM.

NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS

GENERAL HARDSCAPE PROTECTIONS: THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.

DEMOLITION KEYNOTES

REMOVE EXISTING WALL. IF LOAD-BEARING, PROVIDE ADEQUATE TEMPORARY SHORING AS NEEDED. TAKE ALL PRECAUTIONS TO LIMIT DAMAGE TO ADJACENT WALLS, FLOORS, AND CEILINGS. FLOORING TO BE PATCH WITH IN-KIND MATERIAL TO MATCH EXISTING AND ADJACENT.

REMOVE DOOR AND FRAME. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

3 REMOVE PLUMBING FIXTURE. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE.

REMOVE WINDOW. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

(5) REMOVE EXISTING CABINETRY AND APPLIANCES

6 REMOVE EXISTING CHIMNEY TO BELOW ATTIC SUBFLOOR. ROOF TO BE REPAIRED/REPLACED.

REMOVE FIREPLACE, MANTEL, AND HEARTH TO BELOW ATTIC SUBFLOOR.

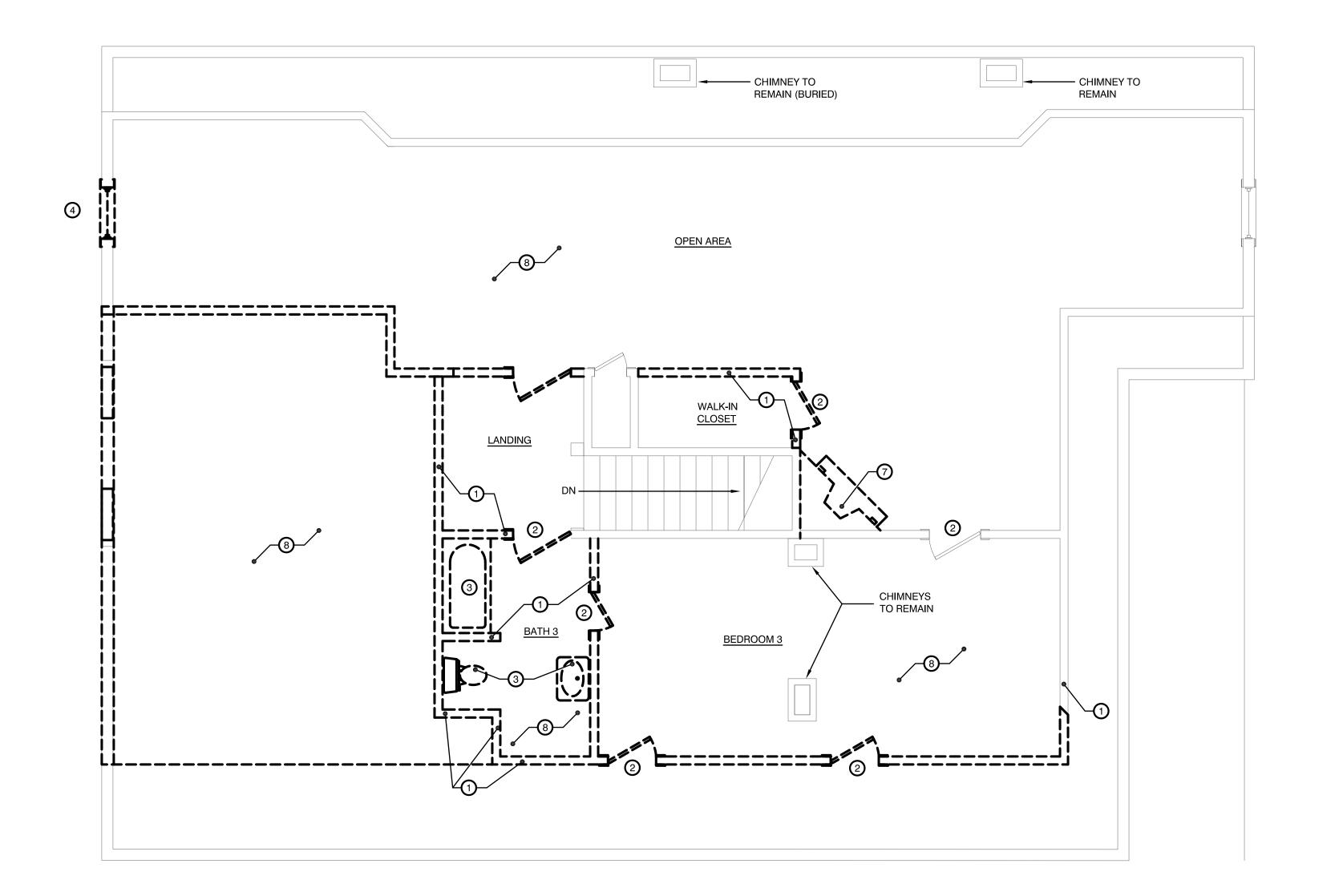
8 REMOVE FINISH FLOOR AND BASE TO SUBFLOOR

9 REMOVE EXISTING DECK AND RAIL. PROVIDE TEMPORARY WD STAIR AND SAFETY RAIL DURING CONSTRUCTION

REMOVE ROOFING AND ROOF FRAMING IN PREPARATION FOR NEW ROOF ADDITION.
COORDINATE WITH STRUCTURAL DRAWINGS FOR BRACING AND NEW FRAMING

REMOVE EXISTING ROOFING AND PAPER DOWN TO SHEATHING IN PREPARATION FOR NEW ROOF

REMOVE EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS AS NECESSARY TO ALLOW FOR NEW WORK PER PLANS, BUT TAKING ALL PRECAUTIONS TO LIMIT DAMAGE AND MAINTAIN FUNCTIONALITY FOR THE OWNER DURING CONSTRUCTION



251

36606

 \circ

70

SAPATE OF ALABAMA
SAPATEVE STOMMA
NO. 6473
NO. 6473
NO. 6473

O SOUTH GEORG ENOVATIONS

REVISIONS 04.28.25

ISSUES + REVIS

ATTIC
DEMOLITION PLAN

AD1.2

DEMOLITION GENERAL NOTES

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK, ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE CONTRACT DOCUMENTS.CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC,ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC,ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOTCOVERED.

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBEDBY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE-TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNOR REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR

HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.

PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.

CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION

GENERAL: PROTECTION
SURROUNDING AND ADJACENT MATERIALS AND PLANTS SHALL BE COVERED AND
CAREFULLY PROTECTED DURING THE CLEANING OPERATION. SOIL BELOW WALLS TO
BE CLEANED SHALL BE NEUTRALIZED AND EXCESS CHEMICALS SHALL BE WASHED

GENERAL: CLEAN UP AT END OF CLEANING ALL DEBRIS REMOVED SHALL BE GATHERED TOGETHER AND HAULED AWAY FROM THE SITE AND DISPOSED OF ELSEWHERE IN ACCORDANCE WITH

ALL APPROPRIATE REGULATIONS.

GENERAL: PROTECTION OF BUILDINGS

AWAY OR GATHERED AND DISPOSED OF ELSEWHERE.

THE CONTRACTOR SHALL PROTECT THE BUILDING AND KEEP IT DRY AT ALL TIMES. HE SHALL PROVIDE AND INSTALL TEMPORARY FLASHING, MEMBRANE OR PLYWOOD COVERS, PIPING, GUTTERING, DOWN SPOUTS, ETC. AS MAY BE NEEDED TO PROTECT THE BUILDING FROM DAMAGE FROM ANY SOURCE -- NATURAL OR MAN MADE.

SPECIFIC DEMOLITION PLANS

SEE DEMOLITION PLAN AS WELL AS REVISED PLANS, ELEVATIONS, SECTIONS, DOOR AND ROOM FINISH SCHEDULES AND VARIOUS DETAILS FOR WORK TO BE DONE.

GENERAL - DEMOLITION SCOPE
DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK
REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT
DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

GENERAL - PROTECTION OF STRUCTURE

THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAY'S WORK OR AT THE APPROACH OF RAIN.

GENERAL - DEMOLITION AND REMOVAL DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND NOTED ON THE DRAWINGS.

REMOVAL OF CERTAIN WOOD, GYPSUM BOARD WALLS, FLOORS, DECKS, FRAMING, NAILERS AND CEILINGS.
 REMOVAL OF CERTAIN DOORS.
 REMOVAL OF CERTAIN TRIM.

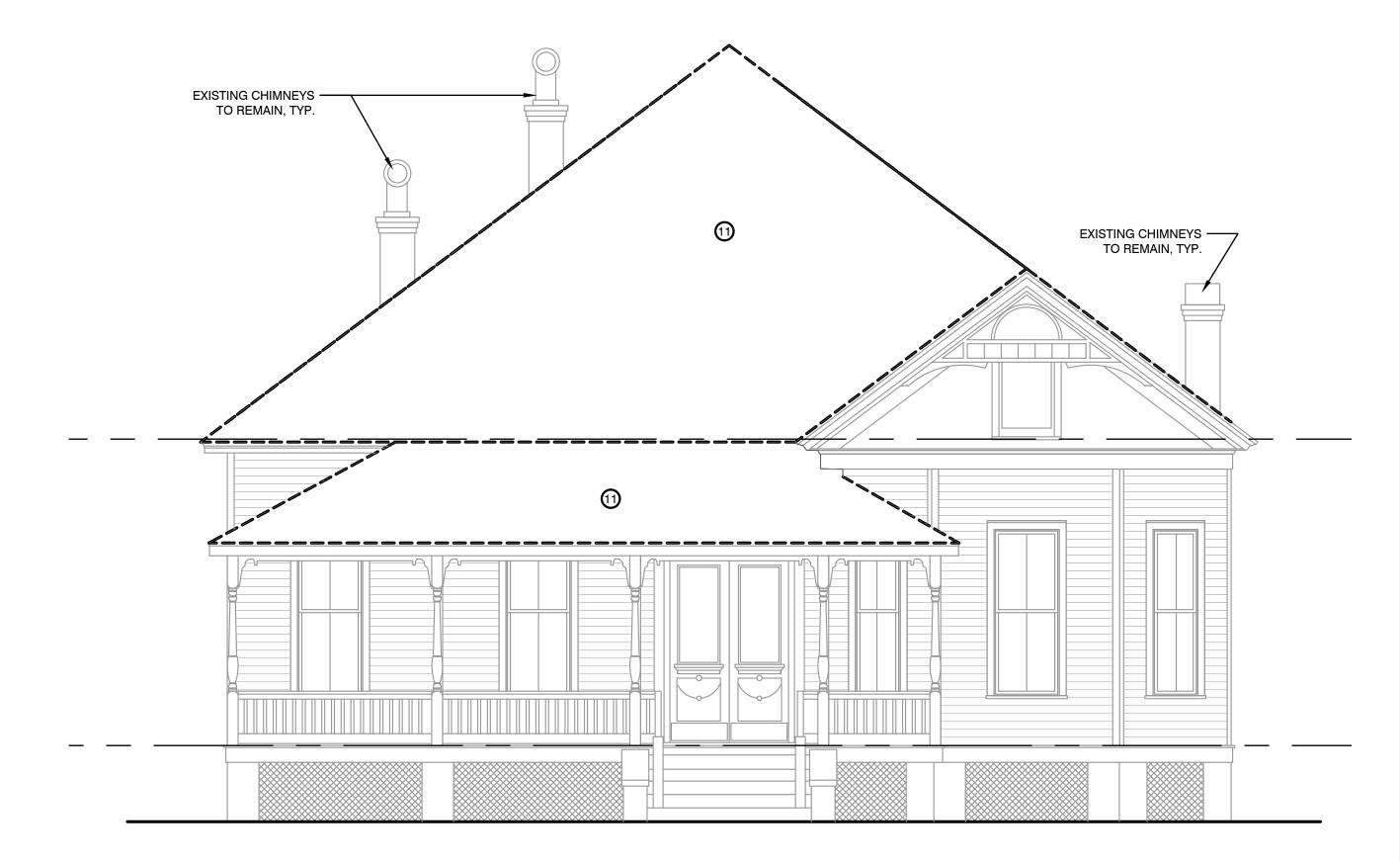
NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS

GENERAL HARDSCAPE PROTECTIONS:
THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.



NORTH ELEVATION AS-BUILT/DEMO



DEMOLITION KEYNOTES

REMOVE EXISTING WALL. IF LOAD-BEARING, PROVIDE ADEQUATE TEMPORARY SHORING AS NEEDED. TAKE ALL PRECAUTIONS TO LIMIT DAMAGE TO ADJACENT WALLS, FLOORS, AND CEILINGS. FLOORING TO BE PATCH WITH IN-KIND MATERIAL TO MATCH EXISTING AND ADJACENT.

2 REMOVE DOOR AND FRAME. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

REMOVE PLUMBING FIXTURE. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE.

REMOVE WINDOW. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

TEMOVE EXISTING CABINETRY AND APPLIANCES

REMOVE EXISTING CHIMNEY TO BELOW ATTIC SUBFLOOR. ROOF TO BE REPAIRED/REPLACED.

REMOVE FIREPLACE, MANTEL, AND HEARTH TO BELOW ATTIC SUBFLOOR.

BELOW AT HE SUBFLOOR.

8 REMOVE FINISH FLOOR AND BASE TO SUBFLOOR

REMOVE EXISTING DECK AND RAIL. PROVIDE TEMPORARY WD STAIR AND SAFETY RAIL DURING CONSTRUCTION
 REMOVE ROOFING AND ROOF FRAMING IN

COORDINATE WITH STRUCTURAL DRAWINGS FOR BRACING AND NEW FRAMING

PREPARATION FOR NEW ROOF ADDITION.

REMOVE EXISTING ROOFING AND PAPER DOWN TO SHEATHING IN PREPARATION FOR NEW ROOF

REMOVE EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS AS NECESSARY TO ALLOW FOR NEW WORK PER PLANS, BUT TAKING ALL PRECAUTIONS TO LIMIT DAMAGE AND MAINTAIN FUNCTIONALITY FOR THE OWNER DURING CONSTRUCTION

1 EAST ELEVATION AS-BUILT/DEMO

NO. 6473

NO. 6473

NO. 6473

SOUTH GEORG

04.28.25

MOBILE

ISSUES + REVISIOI FOR PERMIT

EXTERIOR
ELEVATIONS
AS-BUILT/
DEMOLITION

AD1.3

DEMOLITION GENERAL NOTES

DASHED LINES ON DEMO PLANS REPRESENT WALLS, DOORS, SOFFITS, CASEWORK,

THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION AND ALTERATION NOTES TO BE ALL-INCLUSIVE. IT IS CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE DESIGN INDICATED BY THE

CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR

MAINTAIN ACCESS TO EXITS AND EXIT STAIRS AT ALL TIMES.

FOR ALL SURFACES SCHEDULED TO REMAIN, PATCH AND MATCH SURFACES DISTURBEDBY DEMOLITION OR REMOVAL OF EQUIPMENT OR UTILITIES. INSTALL PATCHING TO MATCH ADJACENT WORK IN FINISH, STRUCTURAL QUALITIES, COURSING OF MASONRY, AND OTHER CHARACTERISTICS. PATCH SURFACES TO COMPLY WITH FIRE RATINGS, SMOKE-TIGHT RATINGS, ACOUSTICAL CRITERIA AND OTHER PERFORMANCE CRITERIA INDICATED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR

NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.

CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO

SURROUNDING AND ADJACENT MATERIALS AND PLANTS SHALL BE COVERED AND CAREFULLY PROTECTED DURING THE CLEANING OPERATION. SOIL BELOW WALLS TO BE CLEANED SHALL BE NEUTRALIZED AND EXCESS CHEMICALS SHALL BE WASHED AWAY OR GATHERED AND DISPOSED OF ELSEWHERE.

AT END OF CLEANING ALL DEBRIS REMOVED SHALL BE GATHERED TOGETHER AND HAULED AWAY FROM THE SITE AND DISPOSED OF ELSEWHERE IN ACCORDANCE WITH

GENERAL: PROTECTION OF BUILDINGS

SHALL PROVIDE AND INSTALL TEMPORARY FLASHING, MEMBRANE OR PLYWOOD COVERS, PIPING, GUTTERING, DOWN SPOUTS, ETC. AS MAY BE NEEDED TO PROTECT THE BUILDING FROM DAMAGE FROM ANY SOURCE -- NATURAL OR MAN MADE.

DEMOLITION AND SALVAGE AND RELATED ITEMS NECESSARY TO COMPLETE WORK REQUIRED BY THE DRAWINGS OR SPECIFICATIONS ARE A PART OF THESE CONTRACT

GENERAL - PROTECTION OF STRUCTURE

GENERAL - DEMOLITION AND REMOVAL DEMOLITION AND REMOVAL INCLUDED IN THE PROJECT COVERS THE DEMOLITION NOTED ON THE DRAWINGS.

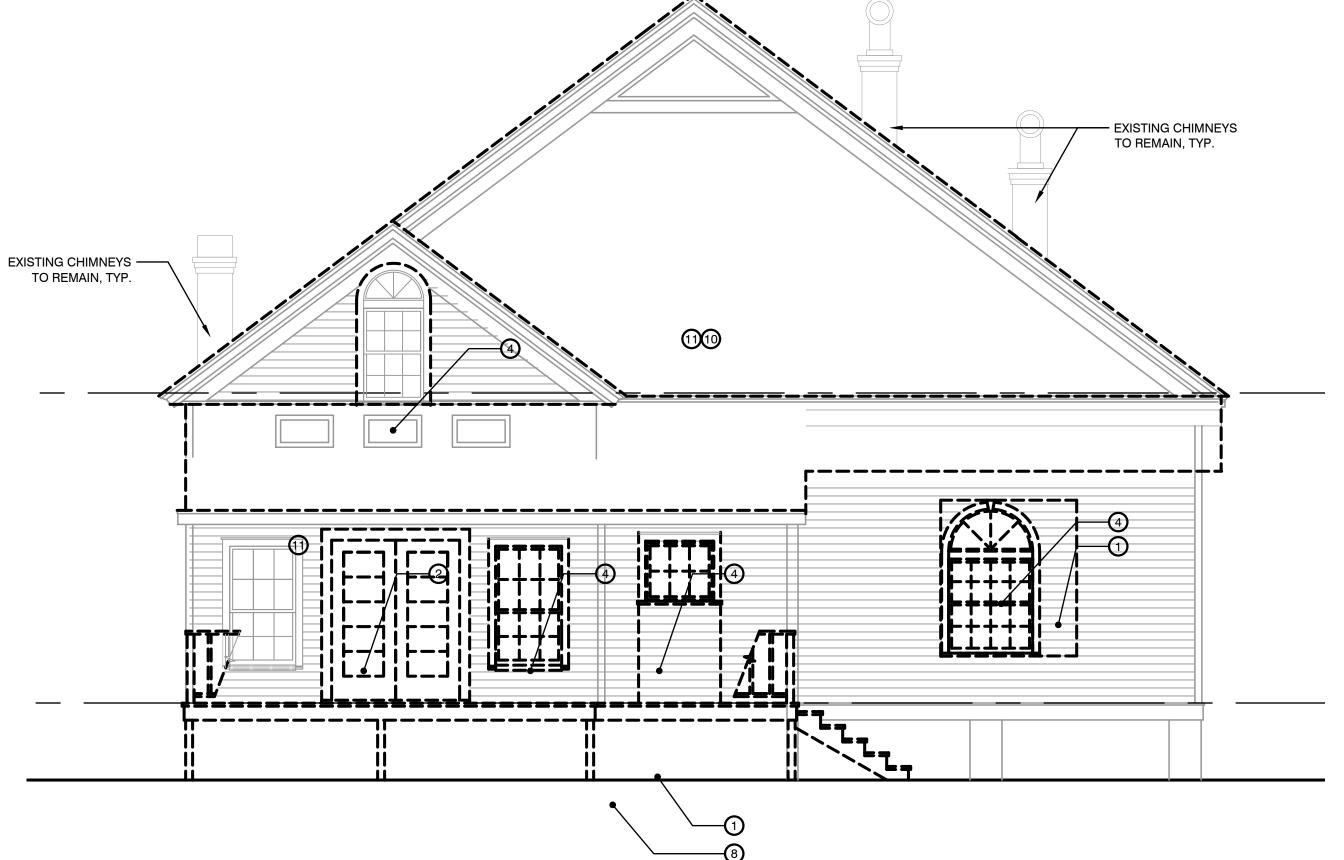
FRAMING, NAILERS AND CEILINGS. 2) REMOVAL OF CERTAIN DOORS

NOTE THAT CERTAIN ELECTRICAL, WATER, GAS, SEWER AND STORM SEWER SYSTEMS

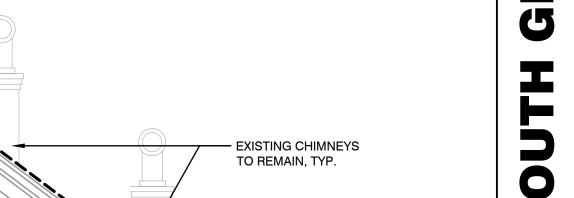
GENERAL HARDSCAPE PROTECTIONS: THE CONTRACTORS SHALL EXERCISE EXTREME CAUTION IN DISTURBANCE OF EXISTING CONCRETE WALKS AND ASPHALT TO REMAIN. ALL DAMAGE REPAIRS SHALL MATCH AND BLEND W/ ADJACENT SURFACES.

EXISTING CHIMNEYS -TO REMAIN, TYP. ------------11

SOUTH ELEVATION AS-BUILT/DEMO



WEST ELEVATION AS-BUILT/DEMO



0

70

MOBILE

ISSUES -

EXTERIOR ELEVATIONS AS-BUILT/ **DEMOLITION**

AD1.4

DEMOLITION KEYNOTES

The remove existing wall. If Load-Bearing, provide adequate temporary shoring as NEEDED. TAKE ALL PRECAUTIONS TO LIMIT DAMAGE TO ADJACENT WALLS, FLOORS, AND CEILINGS. FLOORING TO BE PATCH WITH IN-KIND MATERIAL TO MATCH EXISTING AND ADJACENT.

2 REMOVE DOOR AND TO SUIT SALVAGE OR REUSE IS DESIRED REMOVE DOOR AND FRAME. CONSULT OWNER IF

REMOVE PLUMBING FIXTURE. COORDINATE WITH OWNER FOR POSSIBLE SALVAGE.

REMOVE WINDOW. CONSULT OWNER IF SALVAGE OR REUSE IS DESIRED

(5) REMOVE EXISTING CABINETRY AND APPLIANCES

6 REMOVE EXISTING CHIMNEY TO BELOW ATTIC SUBFLOOR. ROOF TO BE REPAIRED/REPLACED.

REMOVE FIREPLACE, MANTEL, AND HEARTH TO BELOW ATTIC SUBFLOOR.

8 REMOVE FINISH FLOOR AND BASE TO SUBFLOOR

 REMOVE EXISTING DECK AND RAIL. PROVIDE TEMPORARY WD STAIR AND SAFETY RAIL DURING CONSTRUCTION

10 REMOVE ROOFING AND ROOF FRAMING IN PREPARATION FOR NEW ROOF ADDITION. COORDINATE WITH STRUCTURAL DRAWINGS FOR BRACING AND NEW FRAMING

REMOVE EXISTING ROOFING AND PAPER DOWN TO SHEATHING IN PREPARATION FOR NEW ROOF

REMOVE EXISTING ELECTRICAL, PLUMBING, AND MECHANICAL SYSTEMS AS NECESSARY TO ALLOW FOR NEW WORK PER PLANS, BUT TAKING ALL PRECAUTIONS TO LIMIT DAMAGE AND MAINTAIN FUNCTIONALITY FOR THE OWNER DURING CONSTRUCTION

ETC TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING AREAS TO REMAIN.

CONTRACT DOCUMENTS.CONTRACTOR SHALL COORDINATE ARCHITECTURAL DEMOLITION DRAWINGS AND NOTES WITH HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DRAWINGS AND NOTES. PATCH OR REBUILD ANY AREAS TO REMAIN THAT HAVE BEEN DAMAGED OR DISTURBED BY HVAC, ELECTRICAL, FIRE PROTECTION AND PLUMBING DEMOLITION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE

HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN

PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED. THE CONTRACTOR SHALL BE

RESPONSIBLE FOR THE SUPPORT OF ADJACENT STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE. REPAIR SPRAY FIREPROOFING DAMAGED DURING DEMOLITION WORK TO ITS REQUIRED

ASSEMBLY AND FIRE RATING AS SCHEDULED ON ARCHITECTURAL DRAWINGS.

IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION GENERAL: PROTECTION

ALL APPROPRIATE REGULATIONS.

THE CONTRACTOR SHALL PROTECT THE BUILDING AND KEEP IT DRY AT ALL TIMES. HE

SEE DEMOLITION PLAN AS WELL AS REVISED PLANS, ELEVATIONS, SECTIONS, DOOR AND ROOM FINISH SCHEDULES AND VARIOUS DETAILS FOR WORK TO BE DONE.

DOCUMENTS UNLESS SPECIFICALLY EXCEPTED.

THROUGHOUT THIS PHASE OF THE WORK THE CONTRACTOR SHALL SECURE THE BUILDING AND MAKE IT WATERTIGHT AT THE END OF EACH DAY'S WORK OR AT THE APPROACH OF RAIN.

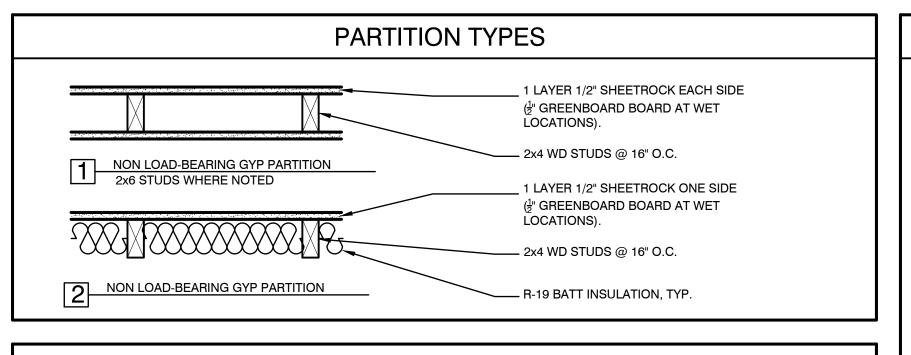
AND REMOVAL OF CERTAIN PARTS OF THE EXISTING BUILDING, ALL AS SHOWN AND 1) REMOVAL OF CERTAIN WOOD, GYPSUM BOARD WALLS, FLOORS, DECKS,

3) REMOVAL OF CERTAIN TRIM.

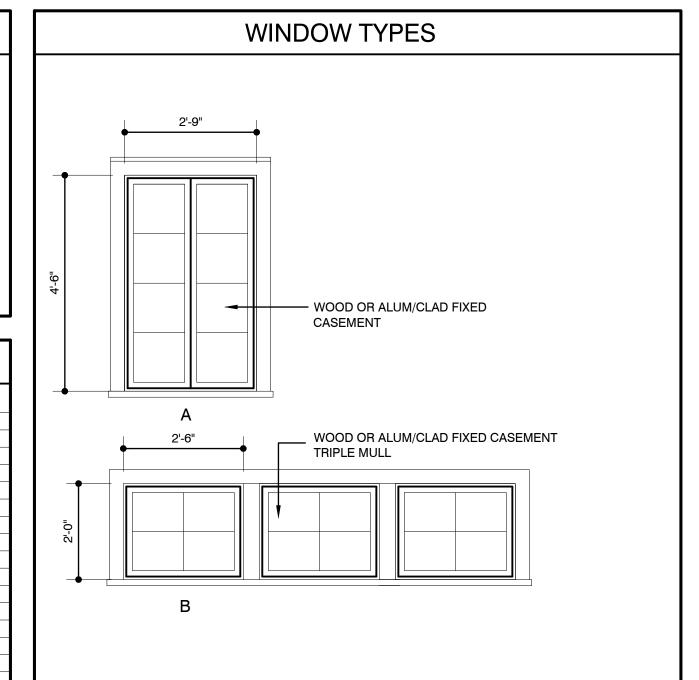
ARE IN THE AREA WHERE DEMOLITION WORK TAKES PLACE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL AREAS BUT IN PARTICULAR IN THE AREAS SO NOTED. CAUTION: OTHER UTILITY LINES EXIST IN AREAS WHERE DEMOLITION IS TO TAKE PLACE. NO DATA IS AVAILABLE ON THESE. THEREFORE, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN ALL DEMOLITION WORK. CAUTION: THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS DURING DEMOLITION WORK AS WELL AS DURING NEW CONSTRUCTION.

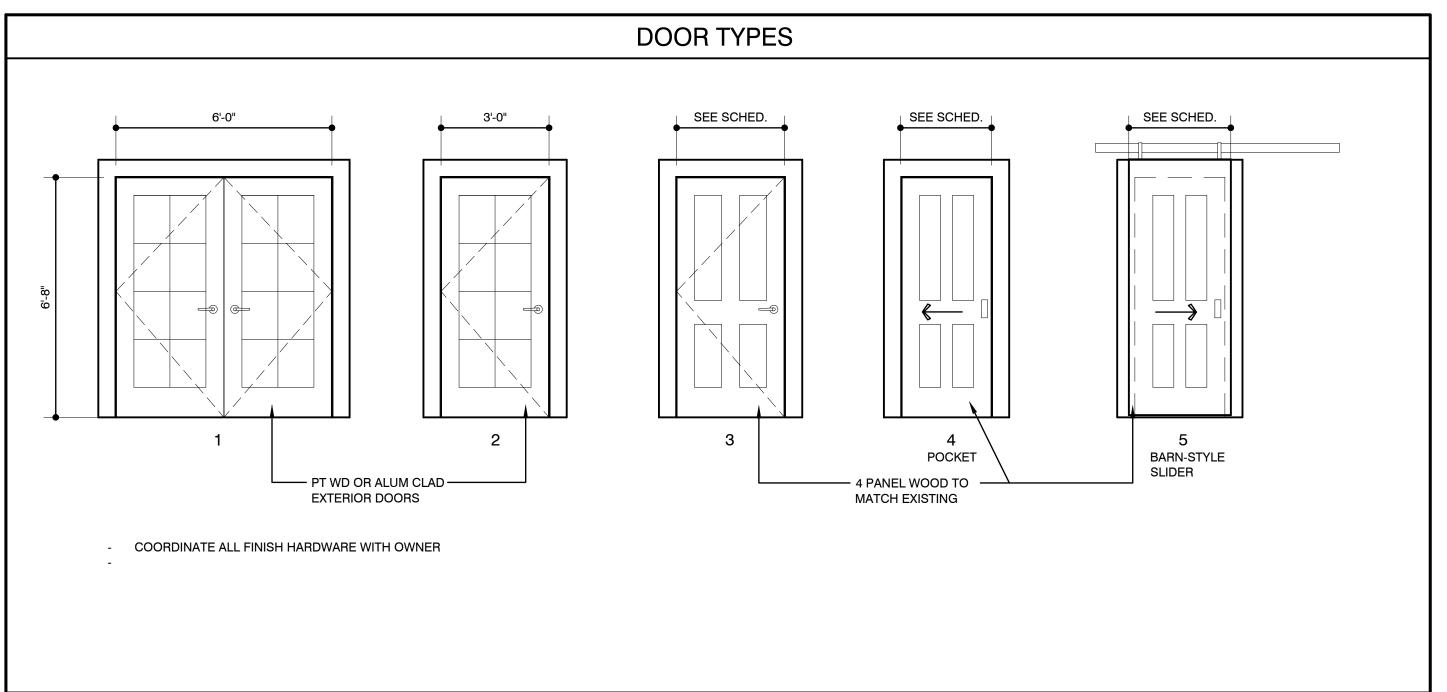
AFTER DEBRIS IS ON THE GROUND, IT SHALL BE HAULED AWAY AND DISPOSED OF ELSEWHERE. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND THE SITE SHALL BE KEPT CLEAN AND FREE OF TRASH AND DEBRIS

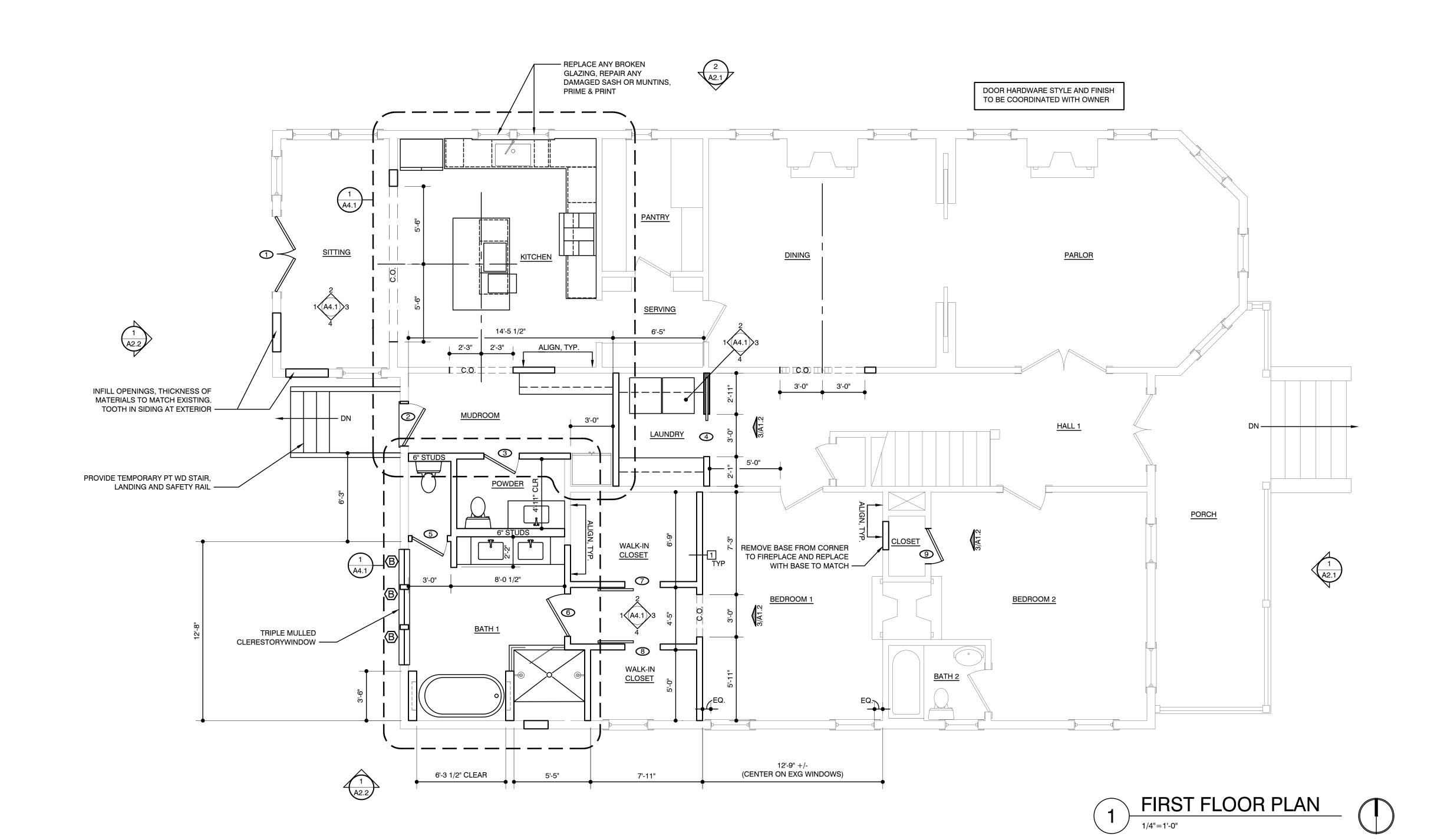
LINE OF LOWER ROOF OVER
SITING AREA ——



DOOR SCHEDULE							
FLOOR	MARK	SIZE	MATERIAL	TYPE	FRAME	HDW	REMARKS
1	1	6'-0" x 6'-8"	WD/GLS	1	WD	TBD	
1	2	3'-0" x 6'-8"	WD/GLS	2	WD	TBD	
1	3	2'-6" x 6'-8"	WD	3	WD	TBD	
1	4	3'-0" x 6'-8"	WD	4	WD	TBD	POCKET DOOR
1	5	2'-6" x 6'-8"	WD	4	WD	TBD	
1	6	3'-0" x 6'-8"	WD	4	WD	TBD	POCKET DOOR
1	7	2'-6" x 6'-8"	WD	5	WD	TBD	SLIDER
1	8	2'-6" x 6'-8"	WD	5	WD	TBD	SLIDER
1	9	2'-6" x 6'-8"	WD	3	WD	TBD	
2	10	3'-0" x 6'-8"	WD	3	WD	TBD	
2	11	3'-0" x 6'-8"	WD	3	WD	TBD	
2	12	2'-6" x 6'-8"	WD	3	WD	TBD	
2	13	4'-0" x 6'-8"	WD	3	WD	TBD	SLIDING DOUBLE CLOSET
2	14	4'-0" x 6'-8"	WD	3	WD	TBD	SLIDING DOUBLE CLOSET
2	15	2'-6" x 6'-8"	WD	4	WD	TBD	POCKET
2	16	2'-6" x 6'-8"	WD	3	WD	TBD	







dakinstreetarchitects

70 n jo

MOBILE

GEORGIA ST

70 SOUTH GEORENOVATIONS

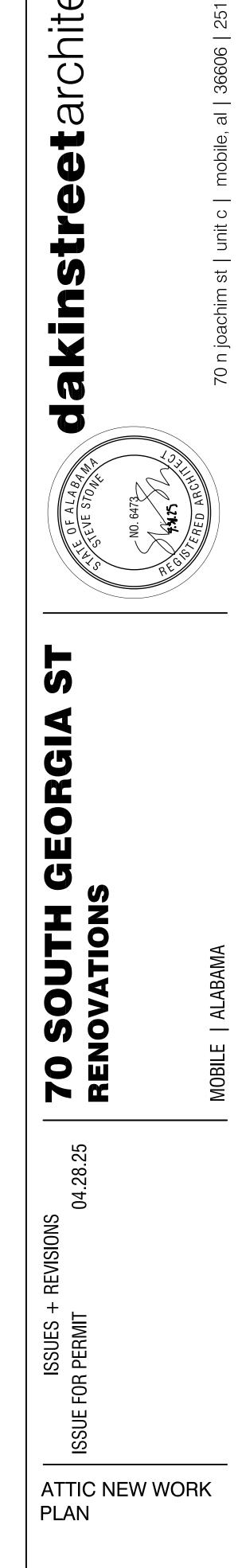
04.28.25

ISSUES + REVISIUNS SUE FOR PERMIT

FIRST FLOOR NEW WORK PLAN

Δ1.1

ATTIC LEVEL PLAN







PROPOSED EAST ELEVATION

ORGIA HT100 70 SO RENOV

MOBILE | ALABAMA

PROPOSED **EXTERIOR ELEVATIONS**

A2.1

TEMPORARY PT WD STAIR AND SAFETY RAIL ——

ORGIA 0

.28.25

MOBILE

REVISIONS ISSUES + I FOR PERMIT ISSNE

PROPOSED **EXTERIOR ELEVATIONS**

A2.2

PROPOSED WEST ELEVATION

36606 | 251.382.8317

| unit c |

70 n joa

MOBILE | ALABAMA

ORGIA 0 70 S RENO

04.28.25

REVISIONS

ISSUES + I FOR PERMIT ISSUE

BUILDING SECTION

A3.1

BUILDING SECTION

251.382.8

 \circ

70 n

MOBILE | ALABAMA

ORG 0 70 S RENO

BUILDING SECTION

A3.2

BUILDING SECTION

